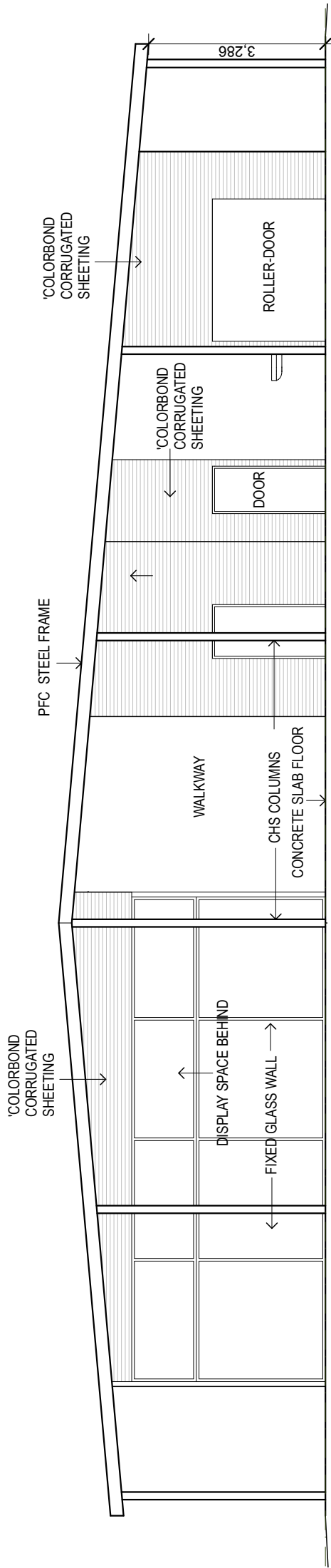

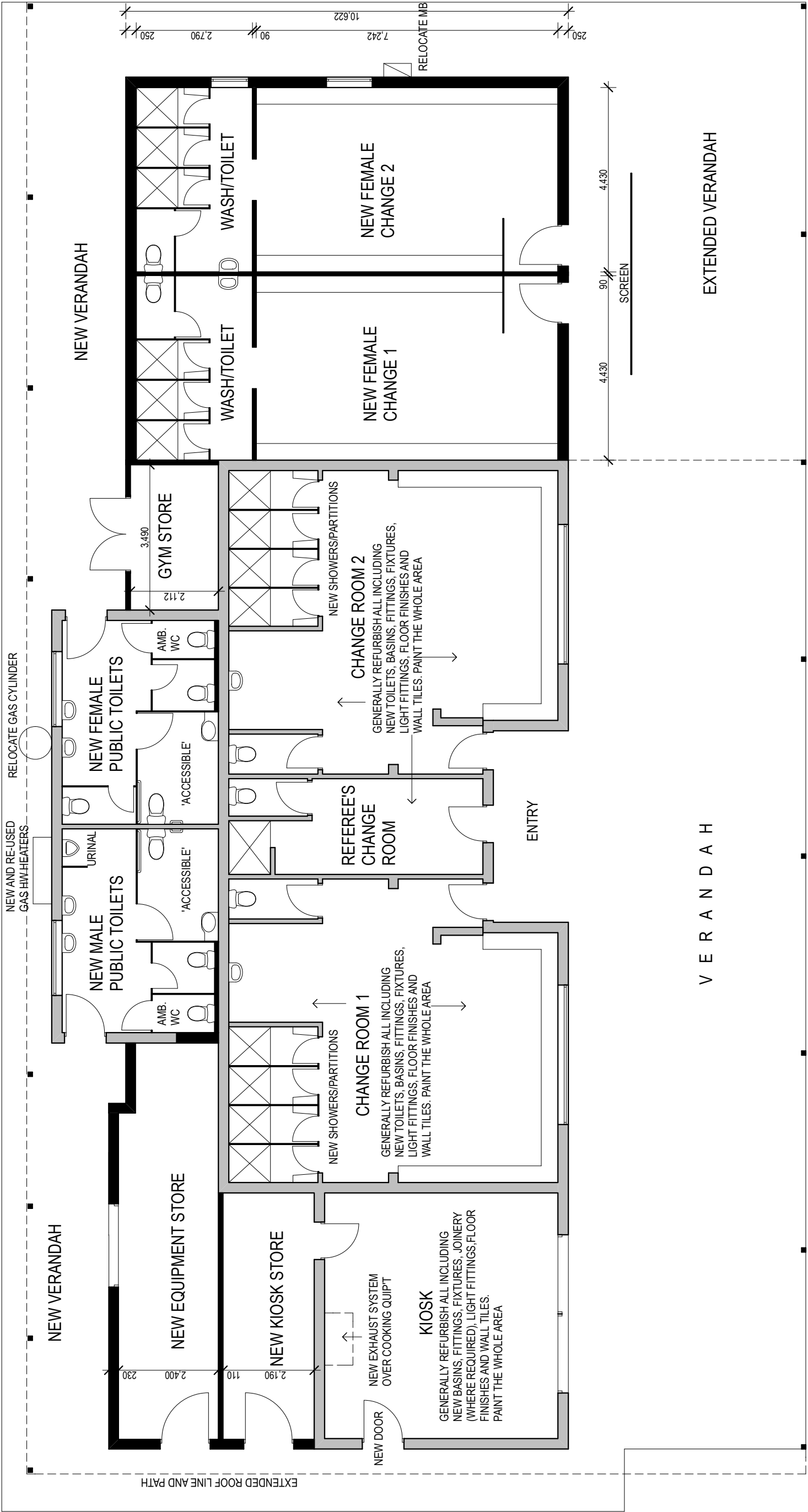


FLOOR PLAN 1:100 SCALE
AREA UNDER ROOF = 281m²



SIDE ELEVATION 1:100 SCALE

CONSULTANTS	REVISION DESCRIPTION			ARCHITECT	PROJECT	TITLE		JOB NUMBER:	DRAWING NUMBER:	
	REVISION NUMBER	REVISION DATE				REVISION DRAWING DRAFT	FLOOR PLAN, ELEVATION		SCALE:	PAGE SIZE:
					PROPOSED NEW DISPLAY AND TOILET BLOCK AT DARLINGTON POINT LIONS PARK, DARLINGTON POINT NSW	CLIENT	MURRUMBIDGE COUNCIL	DATE: 25-6-19	AS SHOWN	A3
								DESIGNED: MC/SM	DRAWN: SM	CHECKED: SM

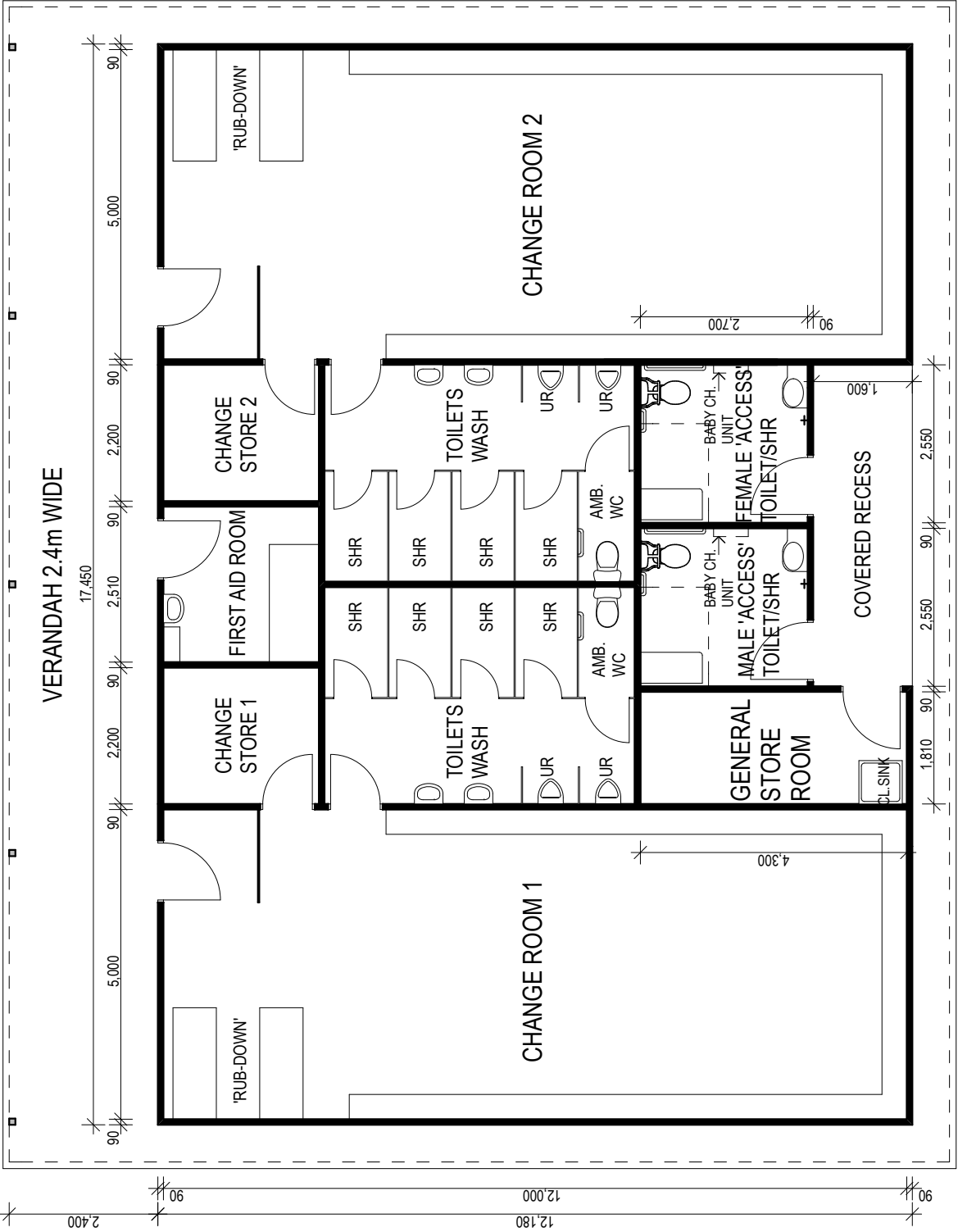


PROPOSED FLOOR PLAN
1:100 SCALE

CONSULTANTS	REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION	ARCHITECT	PROJECT	TITLE		JOB NUMBER:	DRAWING NUMBER:	
						DISCUSSION DRAWING NO. 4	PROPOSED FLOOR PLAN		SCALE:	PAGE SIZE
					PROPOSED ALTERATIONS & ADDITIONS TO DARLINGTON POINT SPORTS GROUND AMENITIES BUILDING	CLIENT	MURUMBIDGEE COUNCIL	DATE: 10 -7-19	1:100	A3
								DESIGNED: SM	DRAWN: SM	CHECKED: SM
										A02



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FLOOR PLAN - AFL CHANGE/ABLUTIONS BLOCK 1:100 SCALE
FLOOR AREA = 204 Sq.m

BRIEF

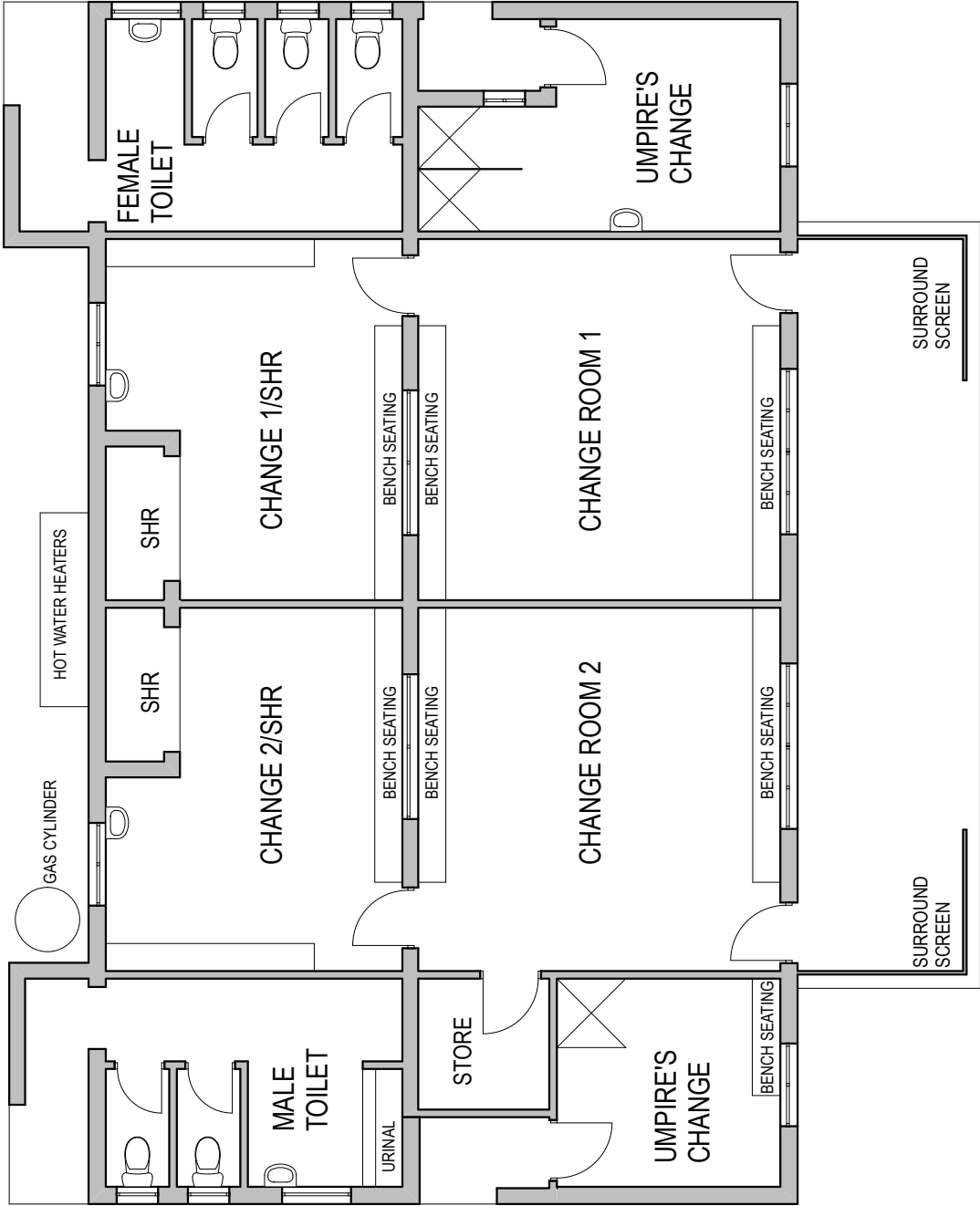
Football Requirements

- Refurbished and/or New change rooms & amenities to service Oval 1
- Changerooms, Toilets, 2 Disabled toilets with Showers and Baby Change facilities & miscellaneous facilities to service 3 grades (6 teams) of AFL Football on same day to include, Toilets, Umpires Facilities, First Aid Facilities, Changeroom/Rub Down room, Lockable Storage for different User groups in Changeroom/Rub Down room or nearby, General Storeroom.
- Note: Public Toilet access to be available at all times.

CONSULTANTS	ARCHITECT	REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION	PROJECT	TITLE		JOB NUMBER:		DRAWING NUMBER:	
						CLIENT	DISCUSSION DRAWING NO. 1 FLOOR PLAN	DATE:	10-7-19	SCALE:	PAGE SIZE
					PROPOSED AFL CHANGE AND ABLUTIONS BUILDING AT COLEAMBALLY NO.1 OVAL COLEAMBALLY NSW	MURRUMBIDGEE COUNCIL		DESIGNED:	SM	DRAWN:	SM
								CHECKED:			A3
											SM
											A02

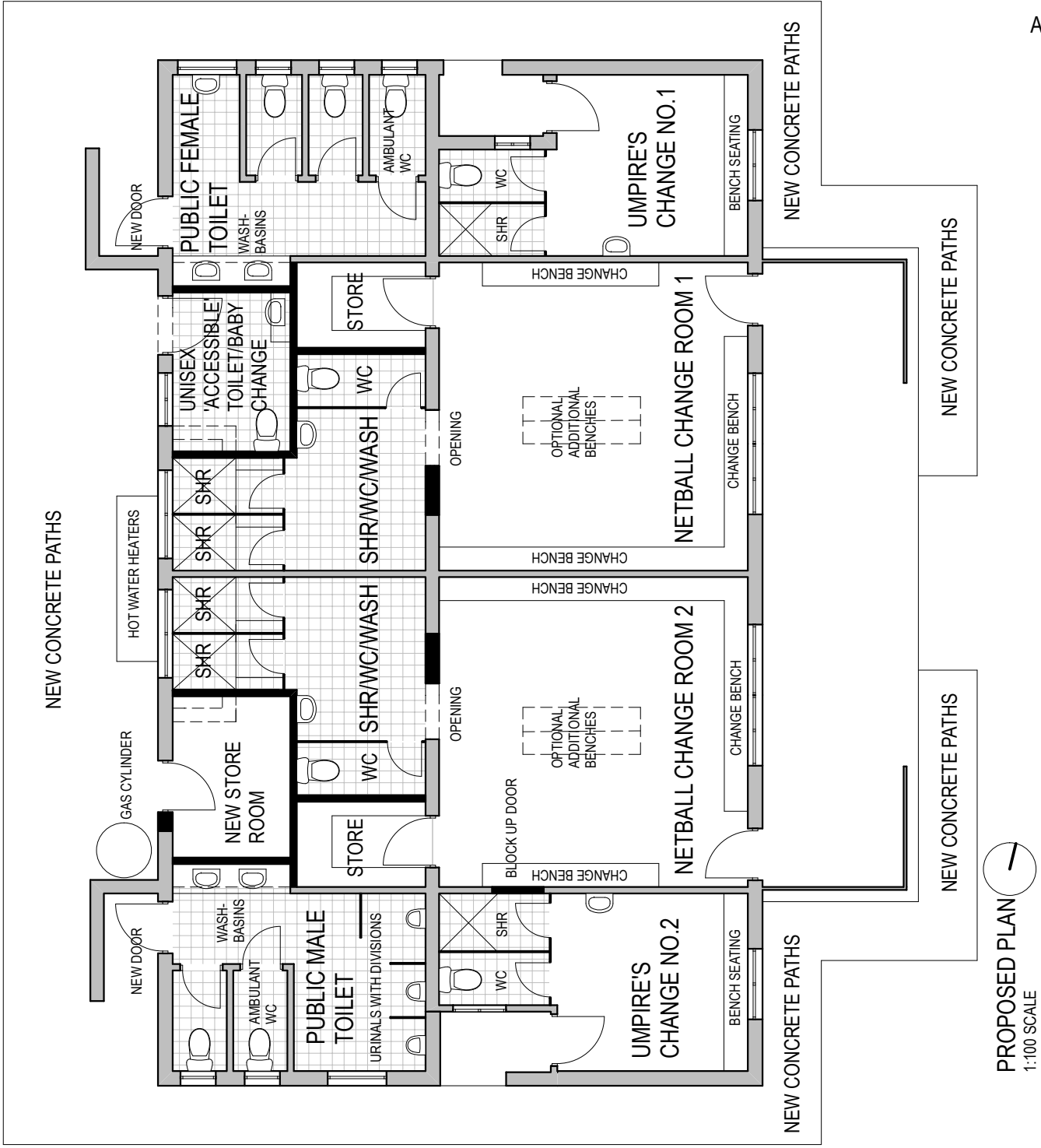


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EXISTING PLAN
1:100 SCALE

AREA = 179 Sq.m



PROPOSED PLAN
1:100 SCALE

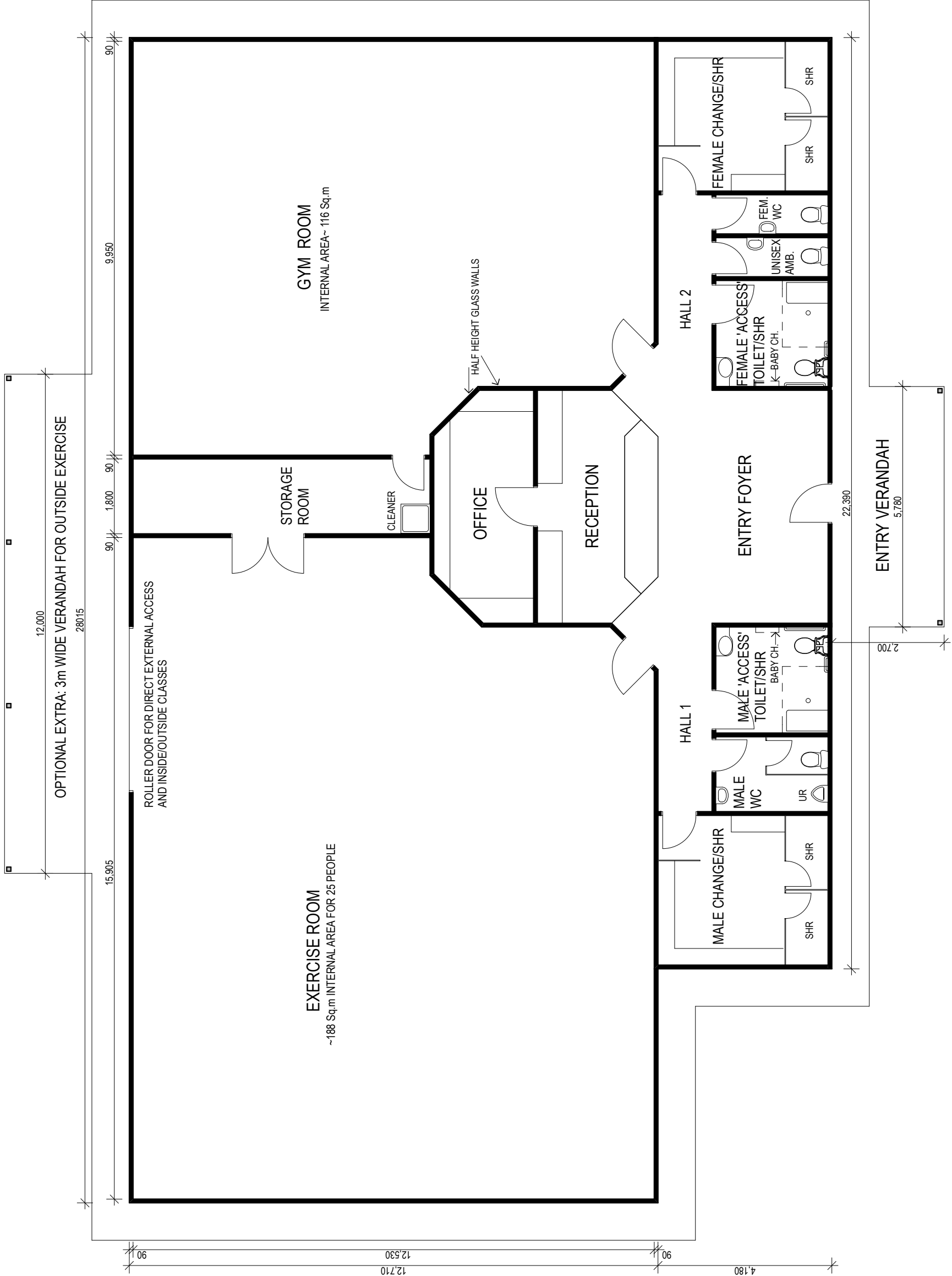
Attachment # 4 - Item # 1

CONSULTANTS				REVISION NUMBER		REVISION DATE		REVISION DESCRIPTION		ARCHITECT		PROJECT		TITLE		JOB NUMBER:		DRAWING NUMBER:		A07			
												<p>STEVEN MURGUYS ARCHITECT Registration No. 4450 35 GOSNOLD STREET GLEBE NSW 2160 PH/FAX: (02) 9664 7798 Email: stevenmurguys4@gmail.com www.stevenmurguysarchitecture.com</p>		<p>PROPOSED ALTERATIONS TO NETBALL CHANGE ROOMS AT COLEAMBALLY NO.1 OVAL, COLEAMBALLY NSW</p>		<p>DISCUSSION DRAWING NO.2 FLOOR PLANS</p>						A07	
																				</			

BRIEF


Sweatbox Community Gym New Facility User Group

- Consider combining with Stadium Upgrade.
- Operates 24/7
- Aim to offer both individual & group fitness classes.
- Access via FOB system
- Current membership 91 – Like to expand to 120.
- Average usage 1 hour per member per visit.
- Require Surveillance & security system.
- Minimum space required 2 Exercise Rooms overall dimension 30m by 15m.
- Two disabled toilets with showers & baby change facility.
- Admin/Reception Area.
- Airconditioning to service Admin/Reception area plus two exercise rooms.
- Storage Area to house the following:-
 - 10 chairs
 - 4 gym balls
 - 10 skipping ropes
 - Resistance bands
 - 1 battle rope
 - 4 foam rollers
 - 3 Industrial Fans
 - Other Fitness Equipment
 - Adequate Power points to service exercise machines
 - Water supply in Exercise rooms
 - Fridge for storing drinks.
- **The Gym Room will need to be big enough to house:**
 - 4 Treadmills,
 - 2 cross trainers,
 - 4 rowing machines,
 - 1 chin up & dip bar
 - 10 spin bikes
 - 1 recumbent bike
 - 1 leg press
 - 1 GHD machine



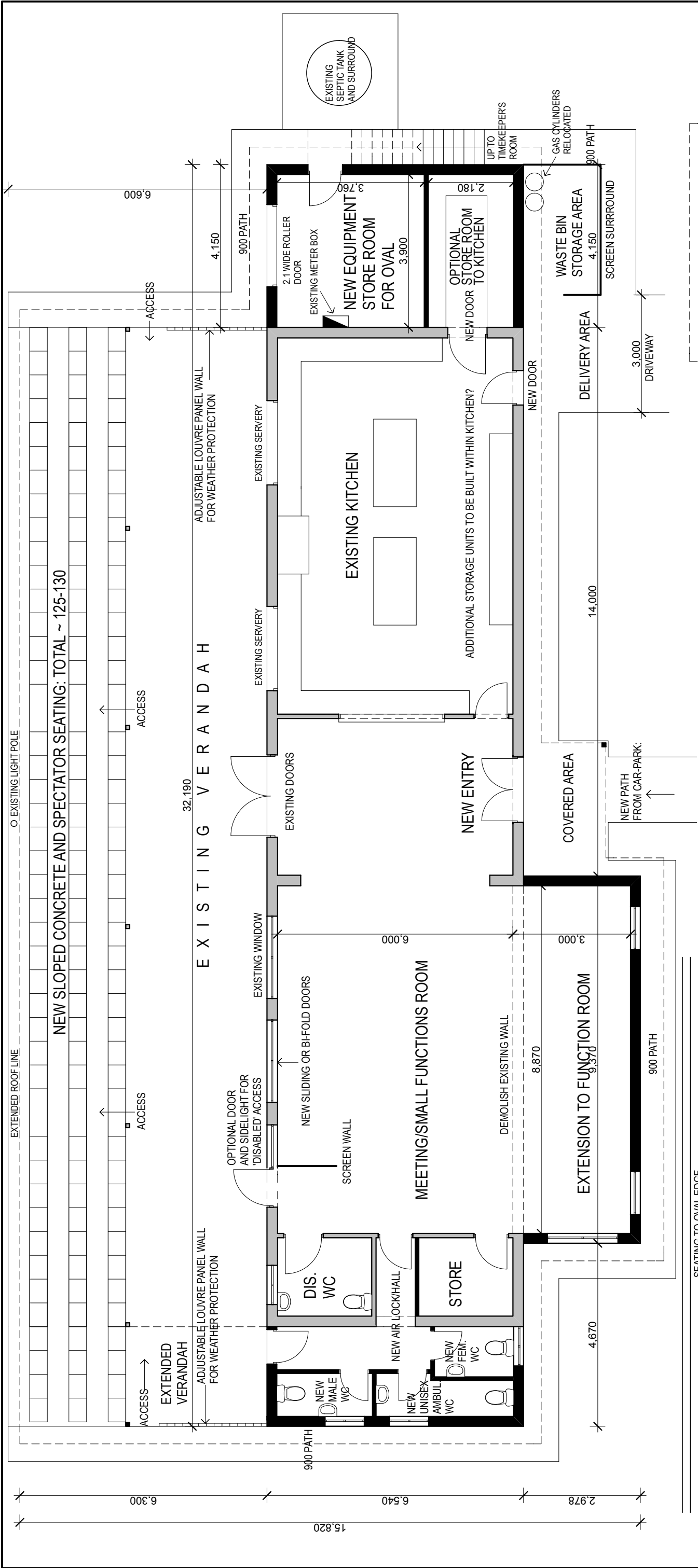
FLOOR PLAN - COMMUNITY GYM

1:100 SCALE
FLOOR AREA = 450 Sq.m
ENTRY VERANDAH AREA = 15.6 Sq.m
TOTAL = 465.6 Sq.m

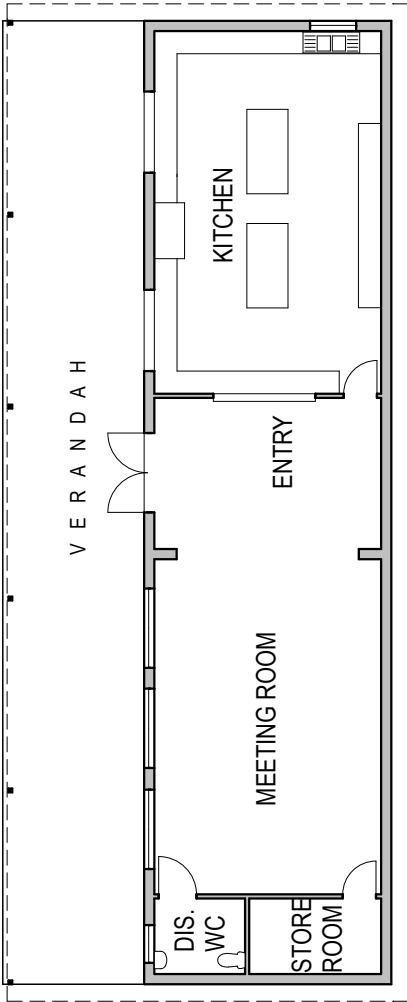
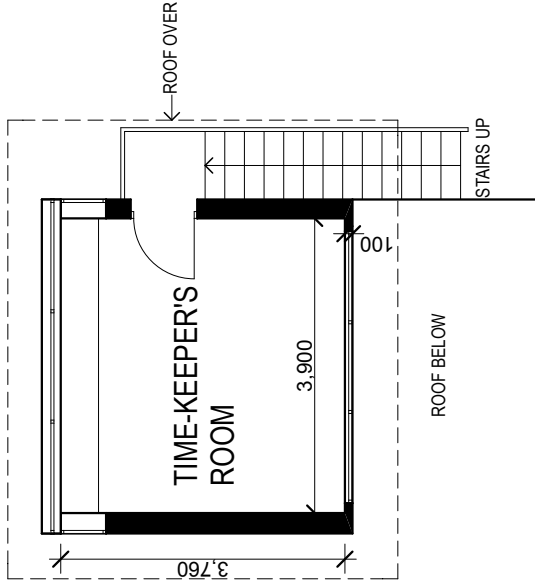
CONSULTANTS	REVISION			ARCHITECT	PROJECT	TITLE		JOB NUMBER:	DRAWING NUMBER:	
	REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION			DISCUSSION DRAWING NO. 1			FLOOR PLAN 'STAND-ALONE'	
					STEVEN MURGOW ARCHITECT Registration No. 4450 36 BROWN STREET GRIFITH NSW 2850 PH/FAX: (02) 664 7798 Email: stevemurgow@a4gmail.com www.stevenmurgowarchitects.com	PROPOSED 'STAND-ALONE' COMMUNITY GYM AT COLEAMBALLY NO.1 OVAL COLEAMBALLY NSW	CLIENT	DATE: 10 - 7 -19	SCALE: 1:100	PAGE SIZE: A3
			MURRUMBIDGEE COUNCIL				DESIGNED:	DRAWN: SM	CHECKED:	SM



STELVIN MURRAY ARCHITECT
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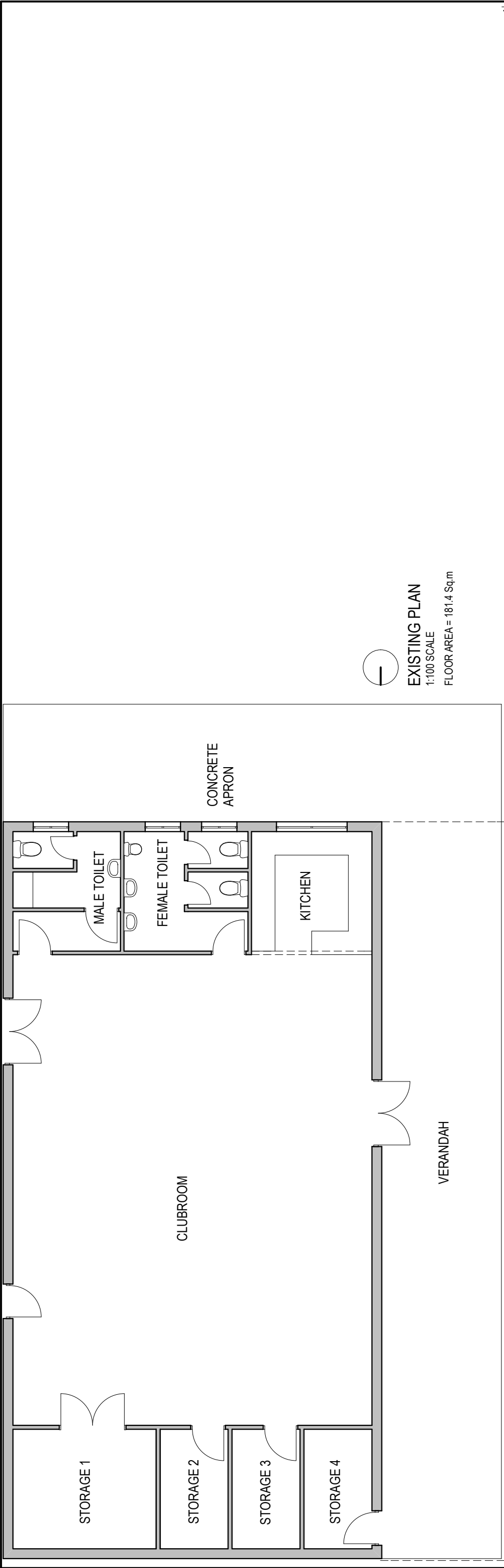
PROPOSED FLOOR PLAN:
OPT.1- 'STAND ALONE' BUILDING
1:100 SCALE



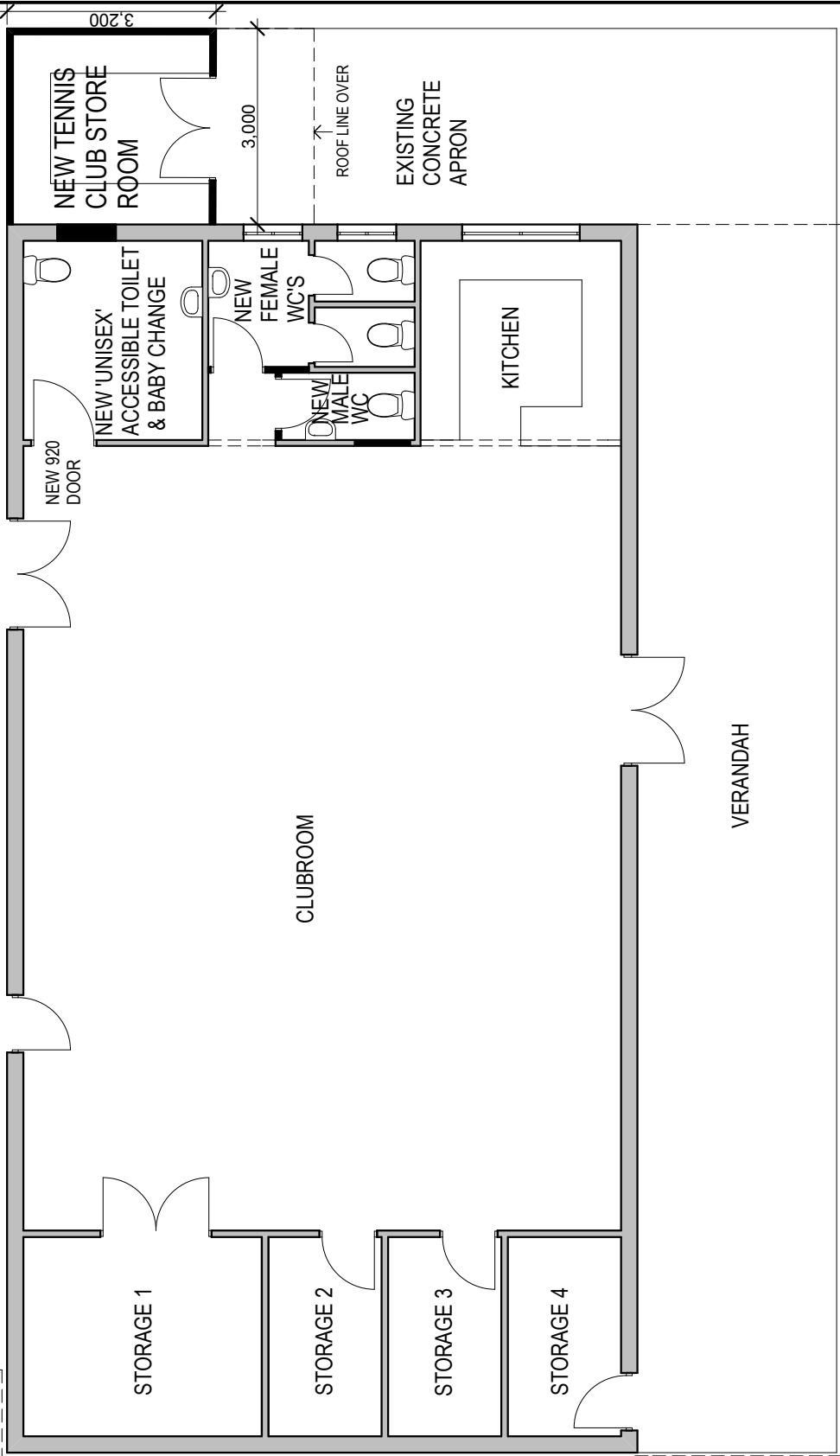
PROPOSED 1ST FLOOR PLAN
1:100 SCALE


EXISTING PLAN
1:200 SCALE


CONSULTANTS		REVISION DATE		REVISION DESCRIPTION		ARCHITECT	PROJECT	TITLE		JOB NUMBER:		DRAWING NUMBER:		A04
		REVISION NUMBER						DISCUSSION DRAWING NO. 4 FLOOR PLAN: 'STAND-ALONE'		04-2017				
 <p>STEVEN MURPHY ARCHITECT Registration No. 4450 38 ESCADA STREET COLEAMBALLY NSW 2580 PH/FAX: (02) 964 7798 Email: stevenmurf54@gmail.com www.stevenmurfarchitecture.com</p>							PROPOSED ALT'S & ADD'S TO CLUBROOMS AT COLEAMBALLY NO.1 OVAL, COLEAMBALLY NSW	CLIENT		DATE: 10-7-19		SCALE: AS SHOWN		A3
								MURRUMBIDGE COUNCIL		DESIGNED: SM		DRAWN: SM		

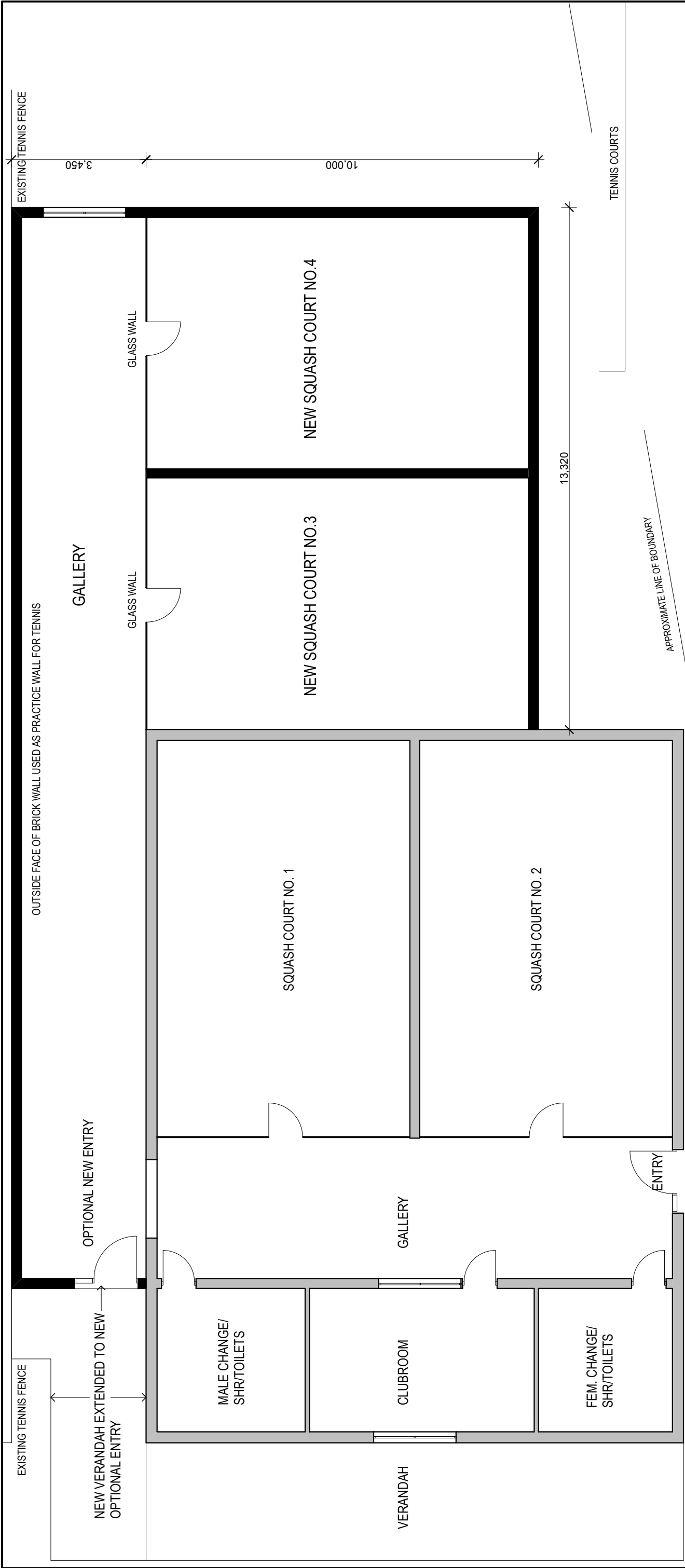


 EXISTING PLAN
1:100 SCALE
FLOOR AREA = 181.4 Sq.m



 PROPOSED PLAN
1:100 SCALE
AREA = 191 Sq.m

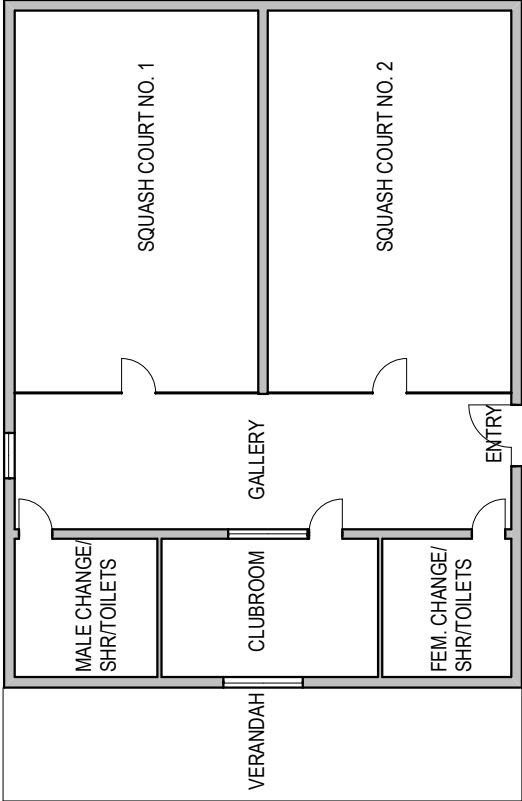
CONSULTANTS		REVISION DESCRIPTION				ARCHITECT				PROJECT				JOB NUMBER:				DRAWING NUMBER:			
										PROPOSED ALTERATIONS & ADDITIONS TO YOUTH HALL AT COLEAMBALLY NO.1 OVAL COLEAMBALLY NSW				DISCUSSION DRAWING NO.1 FLOOR PLANS				A09			
						STEVEMURRAY ARCHITECT 38-39 CANNAN STREET GLEBE NSW 1530 PH/FAX: (02) 9664 7798 Email: stevemurray54@gmail.com www.stevemurrayarchitecture.com				TITLE				DATE: 10-7-19				SCALE: 1:100 ON A3			
						MURRUMBIDGEE COUNCIL				CLIENT				DESIGNED: SM				DRAWN: SM			
																		CHECKED: SM			
																		PAGE SIZE: A3			



PROPOSED PLAN

ADDITIONAL FLOOR AREA = 228 Sq.m
ADDITIONAL VERANDAH = 16.75 Sq.m


1:100 SCALE

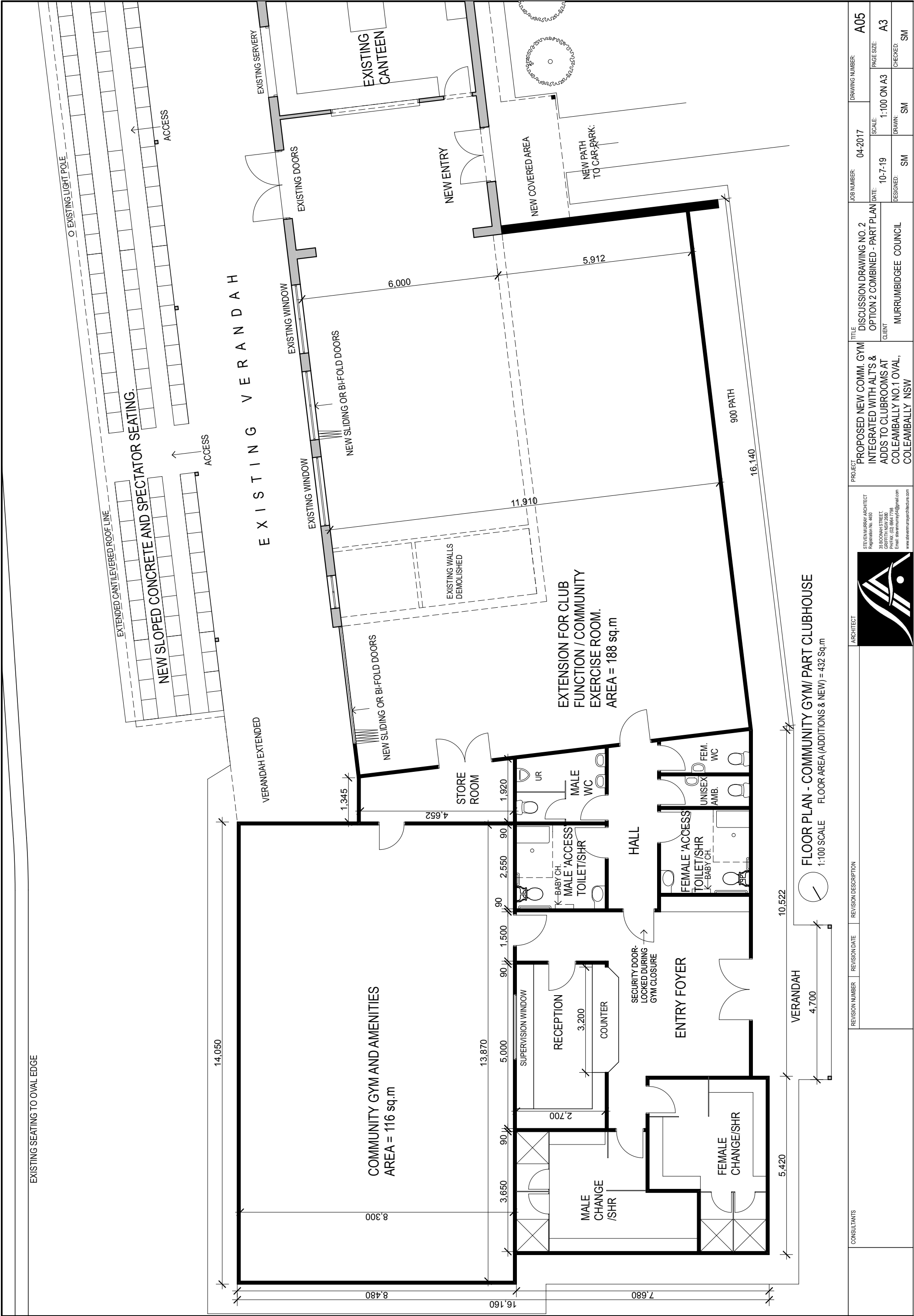


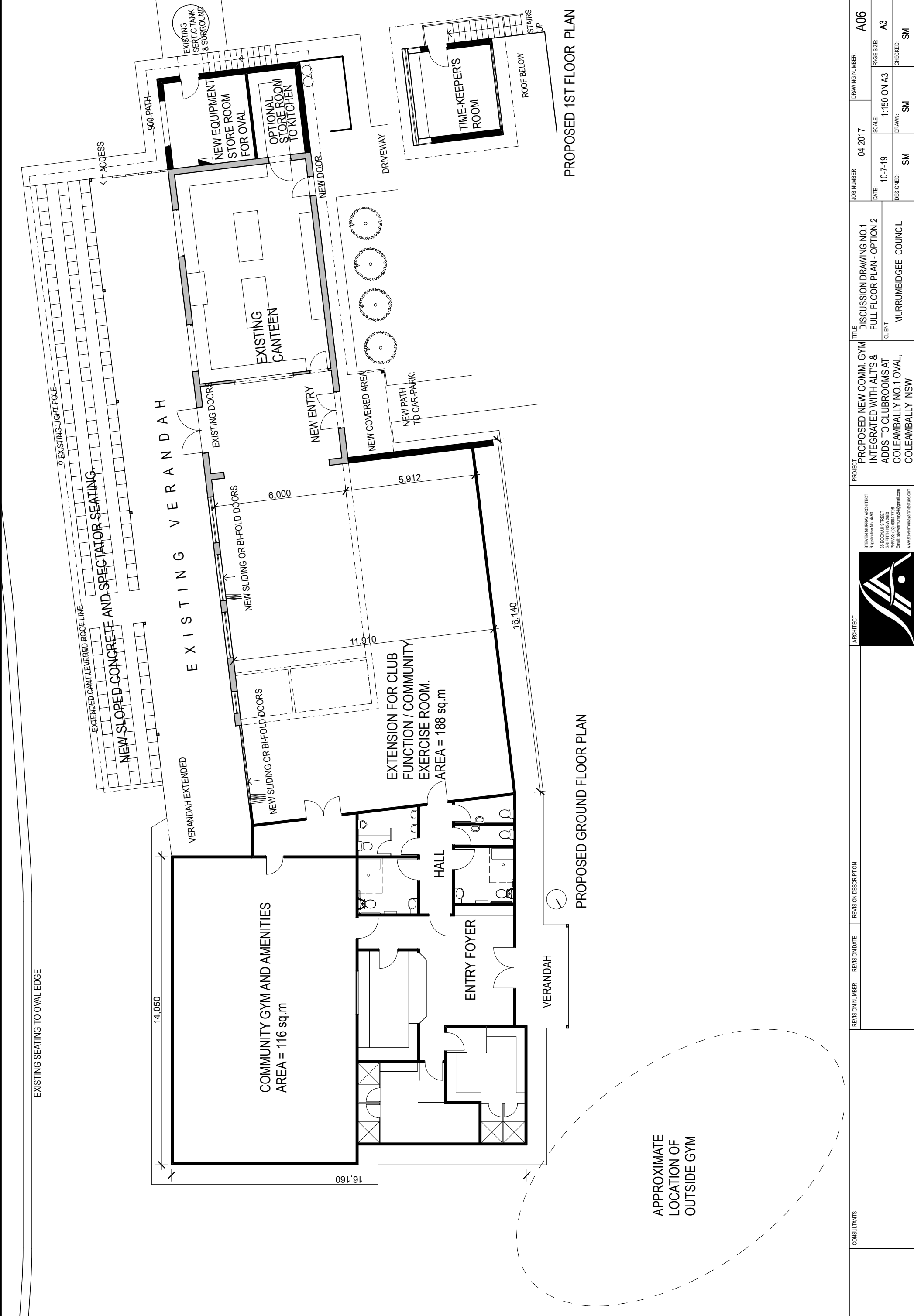
EXISTING PLAN


FLOOR AREA = 249 Sq.m
VERANDAH = 41 Sq.m

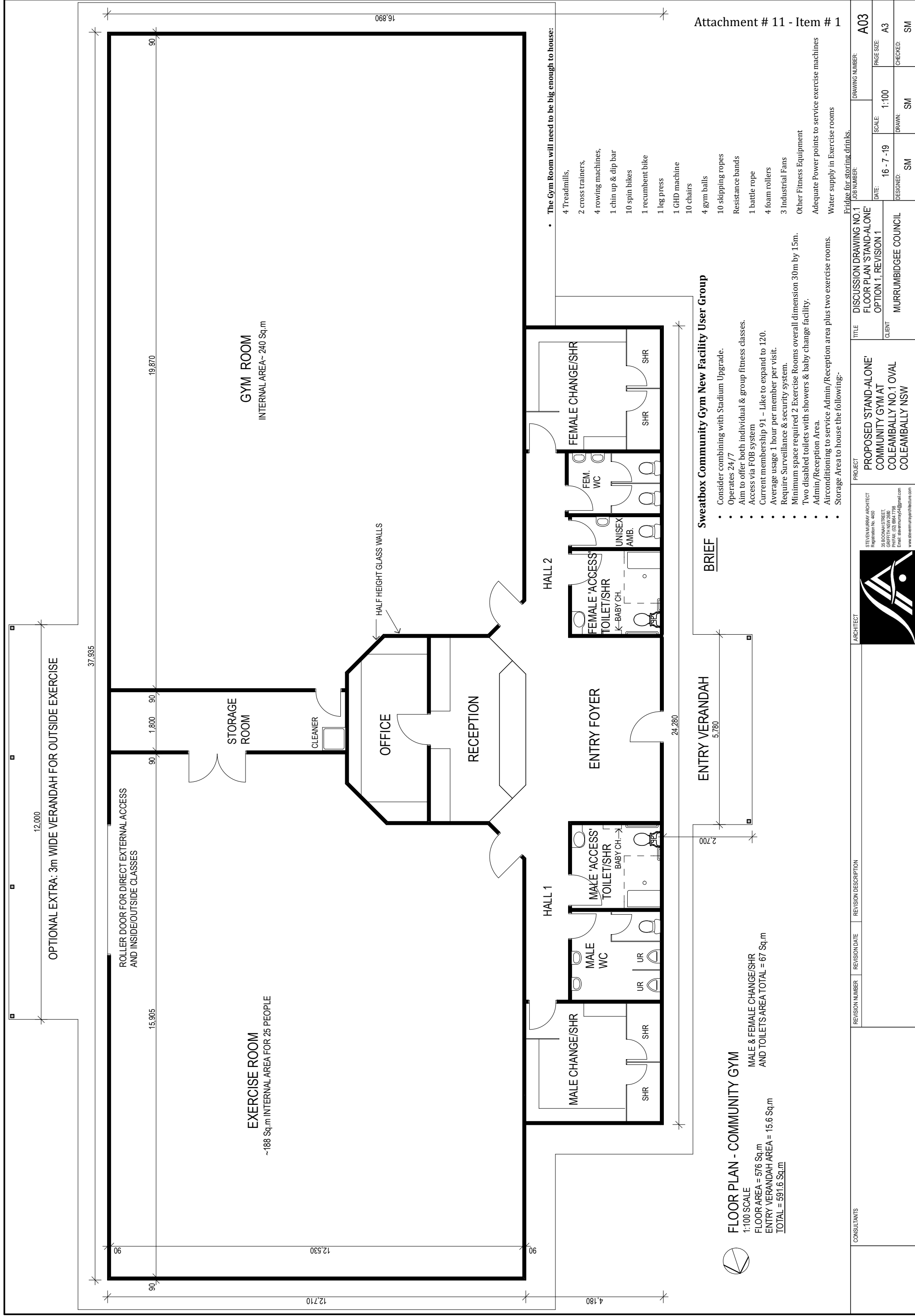
1:200 SCALE

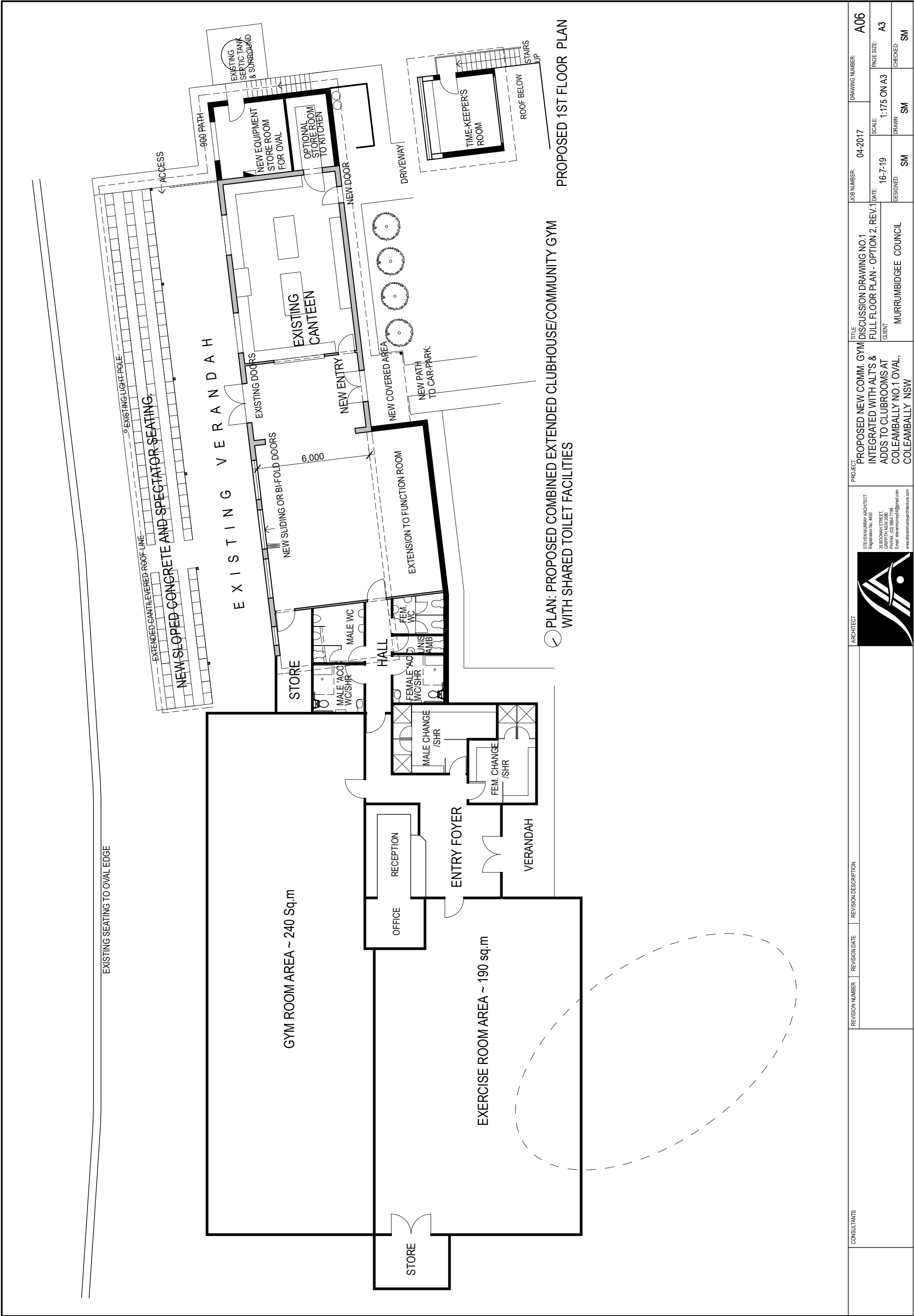
CONSULTANTS				ARCHITECT		PROJECT		TITLE				JOB NUMBER:		DRAWING NUMBER:					
REVISION NUMBER		REVISION DATE		REVISION DESCRIPTION		 <div>STEVENS MURRAY ARCHITECT Registration No. 4450 35 BUCKINGHAM STREET COLEAMBALLY NSW 2580 PH/FAX: (02) 964 7798 Email: stevemurray54@gmail.com www.stevensmurrayarchitecture.com</div>		PROPOSED ADDITIONS TO SQUASH COURTS BUILDING AT COLEAMBALLY NO.1 OVAL, COLEAMBALLY NSW				DISCUSSION DRAWING NO.1 FLOOR PLANS				SCALE: AS SHOWN A3		PAGE SIZE: A3	
								CLIENT MURRUMBIDGEE COUNCIL				DATE: 10 - 7 - 19		DESIGNED: SM		CHECKED: SM			






CONSULTANTS				REVISION DESCRIPTION		ARCHITECT		PROJECT		TITLE		JOB NUMBER:		DRAWING NUMBER:		A06	
								STEVEN MURRAY ARCHITECT Registration No. 4450 35 BUCKINGHAM STREET GLEBE NSW 2160 PH/FAX: (02) 9664 7798 Email: stevenmurray54@gmail.com www.stevenmurrayarchitecture.com		PROPOSED NEW COMM. GYM INTEGRATED WITH ALT'S & ADDS TO CLUBROOMS AT COLEAMBALLY NO.1 OVAL, COLEAMBALLY NSW		DISCUSSION DRAWING NO 1 FULL FLOOR PLAN - OPTION 2		04-2017		A06	
										CLIENT		DATE: 10-7-19		SCALE: 1:150 ON A3		PAGE SIZE: A3	
										MURRUMBIDGE COUNCIL		DESIGNED: SM		DRAWN: SM		CHECKED: SM	





CONSULTANTS				ARCHITECT	PROJECT	JOB NUMBER:		DRAWING NUMBER:		A06
						04-2017				
REVISION DESCRIPTION				DISCUSSION DRAWING NO.1 FULL FLOOR PLAN - OPTION 2, REV.1						
REVISION NUMBER	REVISION DATE			CLIENT						
				MURRUMBIDGEE COUNCIL						
				DATE: 16-7-19		SCALE: 1:175 ON A3		PAGE SIZE: A3		A3
				DESIGNED: SM		DRAWN: SM		CHECKED: SM		SM
				PROPOSED NEW COMM. GYM INTEGRATED WITH ALT'S & ADDS TO CLUBROOMS AT COLEAMBALLY NO.1 OVAL, COLEAMBALLY NSW						
				STEVEN MURRAY ARCHITECT Registration No. 4450 35 BUCKINGHAM STREET COLEAMBALLY NSW 2580 PH/FAX: (02) 964 7798 Email: stevenmurray54@gmail.com www.stevenmurrayarchitecture.com						
										



Staff Education and Training Policy

	Name	Position	Signature	Date
Responsible Officer	Noel Peters	Human Resources Industrial Relations		
Authorised By	John Scarce	General Manager		

Document Revision History	
Date adopted by Council:	2019
Minute No:	
Revision Number:	1
Previous Reviews:	N/A
Next Review Date:	2021
Review Date:	
Minute Number:	
Review Date:	
Minute Number:	

July, 2019

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Purpose

Murrumbidgee Council recognises that staff development is an important part of the working life of each staff member. It is associated with the development needs of the individual and of teams and the achievement of Council's overall strategy.

Council recognises that the calibre and competence of its employees are vital factors in ensuring that it remains a successful organisation. To this end, Council strives to promote employee development through high quality training and learning opportunities both on and off the job.

This Policy sets out what may be offered in terms of support from the Council and what is expected from employees.

Scope

This Policy does not apply to senior staff employees of Council as defined in the Local Government Act 1993. This Policy does not form part of any employee's contract of employment.

Definitions

Training and education to meet position description - is training that Council designates to be necessary requirement of employment. Employees who participate in this training shall not lose ordinary pay. Training and education to meet position description may have to satisfy statutory or Council determined requirements.

Policy Statement

Council recognises that increasing the organisation's efficiency and productivity requires an ongoing commitment to education, training and skill maintenance, development and enhancement. Therefore, Council is committed to:

- Developing a more highly skilled and flexible workforce.
- Providing employees with opportunities through appropriate education and training to acquire additional skills.
- Removing barriers to the utilisation of skills in accordance with Council's training plans.

NOTE: this policy must be read in conjunction with Council's Annual Training Plan.

Development of the Annual Training Plan

Council shall design an annual training plan in accordance with the Local Government (State) Award requirements. The training plan is to be based on:

- The current and future skill requirements of the Council.
- The size, structure and nature of the operations of the Council.
- The need to develop vocational skills relevant to Council and the local government industry in general through the utilisation of available internal and external resources.

The training plan shall, where appropriate, provide for training that is consistent with industry specific competency standards. The training plan shall be consistent in identifying the needs of the organisation, and having regard to Council's Workforce Plan.

Participants will receive training in accordance with Council's training plan based and the needs of Council and the employee as identified in the employee's annual performance review or as an outcome of workplace assessment of competency.

Employees may make application for consideration to attend training courses on the Training/Conference Request Form.

Education and training will be in the following four categories:

1. Training and education to meet position description
2. Training that adds value to the individual and organisation
3. Training and education that adds to the value and/or health and wellbeing of the individual
4. Conferences and Professional Development

1. Training and education to meet Position Description

Where the position you hold has a position description that requires you to obtain a certain competency or qualification council will:

- Pay 100% of the tuition of a commonwealth supported programme
- Pay 100% of the tuition even if not commonwealth supported providing there is not equivalent programme which is commonwealth supported, if so 60% of the tuition will be supported.

However If there is an equivalent commonwealth supported programme offered by an institution that adds unreasonable additional costs, in both time and money, these will

be taken into consideration in determining what the percentage of the tuition will be paid.

Council will:

- Provide 152 hour per annum of paid study time leave during ordinary hours in which to complete.
- Reimburse 100% of all stationary and study material (Inc. of textbooks)
- Pay for all travel and accommodation. Travel being the most efficient method of time (taken from study hours), accommodation no less than 3 stars within 2 km of the venue. If an individual desires to take a less efficient travel method, or stay in an alternative accommodation being outside the 2 km or lessor or higher star rating than what council offers, the employee will be responsible for travel costs to and from accommodation and venue, and will be reimbursed an amount equivalent to the travel and accommodation costs Council would provide.

2. Training that adds value to the individual and organisation

Where the individual has decided to undertake further competencies or qualifications council will:

- Pay the equivalent of 50% of the tuition of a commonwealth supported programmes.
- Provide 38 hours of paid study leave allotted during ordinary hours
- Reimburse 50% of all stationary and study material (Inc. of textbooks)

Where there is no equivalent programme offered as a commonwealth supported programme, council will find the closest match within the field of education.

There will be no payment or reimbursement for travel and/or accommodation.

3. Training, education and pursuit that adds to the value and/or health and wellbeing of the individual

Where the individual has decided to undertake a pursuit which has been determined by Council that only adds value to the individual prospects of employment outside of Council or provides for the health and wellbeing of the individual council will:

- Pay 25% of the cost up to a maximum of \$125 per calendar year

There will be no allocation of study leave or reimbursement for travel, accommodation or other expenses.

These pursuits are limited only to legal pursuits for example gym membership, dance aerobics, small motor mechanic or artistic classes

4. Conferences and professional development

Where as part of professional membership you must complete professional development hours to maintain membership Council will support 75% of those hours per annum by:

- Paying 100% of all tuition, conference fees, travel, accommodation all within ordinary hours (without reducing any study leave) where professional development hours are obtained.

The individual must maximise the obtaining of professional development hours at events attended (i.e. attend prior and post conference workshops to maximise the travel dollars already spent)

Where a Conference is not linked to professional membership the individual may request to attend, at the General Managers or their delegates discretion. If the request is approved Council will:

- Pay 100% of all tuition, conference fees, travel, accommodation all within ordinary hours

Roles and responsibilities

The development of employees is a responsibility shared between individual employees, managers and the organisation. A shared commitment to learning and development is critical to ensure we meet our strategic objectives and foster a culture of career development for our employees.

HR /IR Officer is responsible for:

- Providing employees with appropriate learning and development solutions that are relevant to their positions.
- Promptly considering all learning and development requests.
- Ensuring equitable access for all employees.
- Measuring the effectiveness of programs to promote continuous improvement in our employees, providers and processes.
- Providing advice on learning and development opportunities.

Managers are responsible for:

- Developing individual learning and development plans for employees in the performance appraisal process on an annual basis.
- Demonstrating an ongoing commitment to supporting employees' learning and development.
- Providing resource solutions to allow employees to attend programs.
- Frequently reviewing and discussing employees' learning and development progress.
- Ensuring employees meet statutory and certification requirements.
- Reviewing competencies on a continual basis.
- In accordance with the delegations timely completion and approval of application forms.

Employees are responsible for:

- Completing a Training/Conference Request Form
- Assisting managers in identifying their learning and development needs
- Contributing to the development of their individual learning and development plan on an annual basis
- Attending and participating in allocated learning and development programs
- Providing a minimum 5 working days' notice to relevant managers and the HR /IR Officer for changes to attendance for scheduled programs
- Completing evaluating and/or feedback forms as required.

Review

This policy should be reviewed every 2 years. The policy may be reviewed and amended at any time at Council's discretion (or if legislative or State Government Policy changes occur).



Staff Education and Training Policy

	Name	Position	Signature	Date
Responsible Officer	Alison Coe	Assistant General Manager – Corporate and Community		
Authorised By	Craig Moffitt	General Manager		

Document Revision History	
Date adopted by Council:	21 September, 2017
Minute No:	203/09/17
Revision Number:	1
Previous Reviews:	N/A
Next Review Date:	July 2019
Review Date:	
Minute Number:	
Review Date:	
Minute Number:	

July, 2017

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Purpose

Murrumbidgee Council recognises that staff development is an important part of the working life of each staff member. It is associated with the development needs of the individual and of teams and the achievement of Council's overall strategy.

Council recognises that the calibre and competence of its employees are vital factors in ensuring that it remains a successful organisation. To this end, Council strives to promote employee development through high quality training and learning opportunities both on and off the job.

This Policy sets out what may be offered in terms of support from the Council and what is expected from employees.

Scope

This Policy does not apply to senior staff employees of Council as defined in the Local Government Act 1993. This Policy does not form part of any employee's contract of employment.

Definitions

Compulsory Training - compulsory training is training that Council designates to be necessary requirement of employment. Employees who participate in compulsory training shall not lose ordinary pay. Compulsory training may have to satisfy statutory or Council determined requirements.

Policy Statement

Council recognises that increasing the organisation's efficiency and productivity requires an ongoing commitment to education, training and skill maintenance, development and enhancement. Therefore, Council is committed to:

- Developing a more highly skilled and flexible workforce.
- Providing employees with opportunities through appropriate education and training to acquire additional skills.
- Removing barriers to the utilisation of skills in accordance with Council's training plans.

NOTE: this policy must be read in conjunction with Council's Annual Training Plan.

Development of the Annual Training Plan

Council shall design an annual training plan in accordance with the Local Government (State) Award requirements. The training plan is to be based on:

- The current and future skill requirements of the Council.
- The size, structure and nature of the operations of the Council.
- The need to develop vocational skills relevant to Council and the local government industry in general through the utilisation of available internal and external resources.

The training plan shall, where appropriate, provide for training that is consistent with industry specific competency standards. The training plan shall be consistent in identifying the needs of the organisation, and having regard to Council's Workforce Plan.

Selection of staff to undertake training

Selection of participants to receive Council training in accordance with Council's training plan is to be based on the needs of Council and the employee as identified in the employee's annual performance review or as an outcome of workplace assessment of competency.

Employees may make application for consideration to attend training courses on the Training Application Form.

The selection process will also take into consideration the capacity of the workplace to schedule and arrange the release of selected employees.

Priority of training

Acknowledging that not all identified training needs will be able to be met within the duration of one financial year or annual training plan, wherever possible, available financial and related training resources will be allocated in the following priority:

- Training necessary for Council to comply with current and future legislative requirements.
- Training necessary to assist the employee in doing their current job to the standards required.
- Training necessary to assist the employees career path development.

Notwithstanding the above, resources may be re-allocated to meet WHS and other statutory training which may result from legislative or technological change.

Training undertaken as a requirement of council (Compulsory Training)

If an employee is required by Council to participate in a structured training program and such program is consistent with Council's training plan:

- The Council shall grant the employee paid leave to attend course requirements where the training is undertaken during ordinary working hours.
- Council shall pay course fees at the commencement of each stage.
- Council shall, at the discretion of the General Manager, either provide transport or pay reasonable travelling expenses to enable employees to attend course requirements.

Non-Compulsory training but consistent with council needs & staff career development

At the discretion of the General Manager, an employee undertaking a course consistent with Council's needs and requirement may be granted financial assistance towards the course fees in question and appropriate leave to attend course requirements.

The relevant staff member must make an application for assistance in writing to the General Manager and state the benefits for Council in the qualifications being gained.

Further, the General Manager's decision is final.

Roles and responsibilities

The development of employees is a responsibility shared between individual employees, managers and the organisation. A shared commitment to learning and development is critical to ensure we meet our strategic objectives and foster a culture of career development for our employees.

WHS/HR Officer is responsible for:

- Providing employees with appropriate learning and development solutions that are relevant to their positions.
- Promptly considering all learning and development requests.
- Ensuring equitable access for all employees.
- Measuring the effectiveness of programs to promote continuous improvement in our employees, providers and processes.
- Providing advice on learning and development opportunities.

Assistant General Managers/Managers are responsible for:

- Developing individual learning and development plans for employees on an annual basis.
- Demonstrating an ongoing commitment to supporting employees' learning and development.
- Providing resource solutions to allow employees to attend programs.
- Frequently reviewing and discussing employees' learning and development progress.
- Ensuring employees meet statutory and certification requirements.
- Reviewing competencies on a continual basis.
- Timely completion of application forms.

Employees are responsible for:

- Assisting managers in identifying their learning and development needs
- Contributing to the development of their individual learning and development plan on an annual basis
- Attending and participating in allocated learning and development programs
- Providing a minimum 5 working days' notice to relevant managers and the WH&S / HR Officer for changes to attendance for scheduled programs
- Completing evaluating and/or feedback forms as required.

Review

This policy should be reviewed every 2 years. The policy may be reviewed and amended at any time at Council's discretion (or if legislative or State Government Policy changes occur).

Draft Reasons for Refusal

Development Application 30-18/19

This Notice has been issued under the *Environmental Planning and Assessment Act 1979* and the *Murrumbidgee Local Environmental Plan 2013*.

Pursuant to Section 4.18 of the Act, notice is hereby given of the determination of Murrumbidgee Council of the Development Application referred to above.

The Development Application has been determined by the refusing of consent.

The reasons for the refusal are set out as follows:

1. The proposed development is not consistent with the objectives of the E3 Environmental Management Zone and therefore is not consistent with Section 4.15(1)(a)(i) and 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* and is not in the public interest and does not satisfy Section 4.15(1)(e) of the *Environmental Planning and Assessment Act 1979*.
2. The proposed development is not consistent with the objectives of the W2 Recreational Waterways Zone and therefore is not consistent with Section 4.15(1)(a)(i) and 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* and is not in the public interest and does not satisfy Section 4.15(1)(e) of the *Environmental Planning and Assessment Act 1979*.
3. The development as proposed is not consistent with Clause 6.2(3) of the *Murrumbidgee Local Environmental Plan 2013* with regards to Flooding. This results in the development not satisfying Section 4.15(1)(a)(i) and having an unacceptable impact on the environment which is inconsistent with Section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979*.
4. The development as proposed is not consistent with Clause 6.5(3) of the *Murrumbidgee Local Environmental Plan 2013* with regards to Riparian Land and Watercourses. This results in the development not satisfying Section 4.15(1)(a)(i) and having an unacceptable impact on the environment which is inconsistent with Section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979*.
5. The development as proposed is not consistent with Clause 6.6(3) of the *Murrumbidgee Local Environmental Plan 2013* with regards to Wetlands. This results in the development not satisfying Section 4.15(1)(a)(i) and having an unacceptable impact on the environment which is inconsistent with Section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979*.

6. The development as proposed is not consistent with Clause 6.7(3) of the *Murrumbidgee Local Environmental Plan 2013* with regards to development on river front areas. This results in the development not satisfying Section 4.15(1)(a)(i) and having an unacceptable impact on the environment which is inconsistent with Section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979*.
7. The development as proposed is not consistent with Clause 6.8(3)&(4) of the *Murrumbidgee Local Environmental Plan 2013* with regards to development on river beds and banks. This results in the development not satisfying Section 4.15(1)(a)(i) and having an unacceptable impact on the environment which is inconsistent with Section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979*.

GENERAL NOTES

- G1. THESE NOTES APPLY TO ALL DRAWINGS IN THE CONTRACT SET. WHERE SPECIFIC NOTES ON OTHER DRAWINGS APPLY THEY SHOULD BE READ IN CONJUNCTION WITH THE GENERAL NOTES.
- G2. ALL DIMENSIONS ARE IN METRES (m). (UNLESS OTHERWISE STATED)
- G3. ALL LEVELS SHOWN ARE TO AUSTRALIAN HEIGHT DATUM (AHD).
- G4. DO NOT SCALE DIMENSIONS FROM DRAWINGS.
- G5. WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 4000 – 1997 GENERAL CONDITIONS OF CONTRACT. TO THE APPROVED PLAN, TO THE SATISFACTION OF THE SUPERINTENDENT AND TO ALL RELEVANT STANDARD DRAWINGS WHERE APPLICABLE.
- G6. WORKS SUPERVISOR TO BE CONTACTED A MINIMUM OF 5 WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORKS THAT AFFECT ROAD ASSETS.
- G7. A PLANNING PERMIT IS REQUIRED FOR THE REMOVAL OF NATIVE VEGETATION AND MAY BE REQUIRED FOR THE REMOVAL OF NATIVE VEGETATION.
- G8. A TRAFFIC MANAGEMENT PLAN MUST BE PREPARED AND IS TO COMPLY WITH THE RELEVANT CODE OF PRACTICE FOR WORK SITE SAFETY TRAFFIC MANAGEMENT IN RELATION TO ANY WORKS UNDERTAKEN WITHIN THE ROAD RESERVE.
- G9. THE TYPICAL PAVEMENT DIAGRAM SHOWN ON THIS SHEET IS A GUIDE FOR A TYPICAL LAYOUT OF A ROADWAY ACCESS FOR A RURAL ROAD.
- G10. PAVEMENT LINE MARKING REQUIREMENTS AS PER SHEET 10 OF 10.
- G11. UNDERGROUND SERVICES:
- PRIOR TO ANY EXCAVATION WORKS, CHECK WITH ALL RELEVANT RESPONSIBLE AUTHORITIES (e.g. TELECOMMUNICATIONS, ELECTRICITY, GAS, WATER etc.)
- PRIOR TO ANY WORKS AN INSPECTION OF THE CONSTRUCTION FOOTPRINT SHOULD BE UNDERTAKEN TO IDENTIFY ANY ABOVEGROUND SERVICES AND APPROPRIATE PRECAUTIONS TAKEN TO ELIMINATE THE POTENTIAL OH&S RISKS.
- G12. THE CONTRACTOR IS REQUIRED TO CONFINE ALL CONSTRUCTION VEHICLES TO THE EASEMENTS AND ROAD RESERVES. ANY DAMAGE CAUSED TO ADJACENT PROPERTIES MUST BE MADE GOOD.
- G13. ALL FILL AREAS TO BE COMPACTED AS SPECIFIED. ALL STRUCTURAL FILLING MATERIAL IS TO BE APPROVED BY THE SUPERINTENDENT AND THE RELEVANT ROAD AUTHORITY PRIOR TO PLACEMENT.
- G14. ALL FILL AREAS EXCEEDING 200mm ARE TO BE STRIPPED OF TOPSOIL, FILLED AND TOPSOIL REPLACED TO ACHIEVE THE FINAL FINISHED FILL LEVELS SHOWN ON THE DRAWINGS.
- G15. SUBGRADE TO BE SELECT CLAY MATERIAL PLACED IN 150mm LAYERS. (ASSUME CBR OF 10%)
- G16. RESERVES/EASEMENTS TO BE LEFT IN A CONDITION SATISFACTORY TO THE SUPERINTENDENT AND RELEVANT ROAD AUTHORITY.
- G17. ALL PIPE AND SERVICE TRENCHES UNDER ROADS TO BE BACKFILLED WITH CLASS 2 CRUSHED ROCK.
- G18. NO TOPSOIL IS TO BE REMOVED FROM SITE.
- G19. UNLESS OTHERWISE SHOWN, ALL TREES AND SHRUB'S ARE TO BE RETAINED. WRITTEN PERMISSION MUST BE OBTAINED FROM THE SUPERINTENDENT WHERE PARTICULAR CONSTRUCTION NECESSITIES THEIR REMOVAL.
- G20. ALL DEWATERING TO BE CARRIED OUT IN ACCORDANCE WITH THE EPA'S GUIDELINE "CONSTRUCTION GUIDELINES FOR CONSTRUCTION SITES" – DECEMBER 1995.
- G21. ENVIRONMENTAL PROTECTION INCLUDING SILT CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- G22. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF ALL TBM'S. TBM'S FOUND TO BE DISTURBED OR MISSING AT THE COMMENCEMENT OF CONSTRUCTION ARE TO BE RE-ESTABLISHED BY A QUALIFIED SURVEYOR.
- G23. ALL WORKS SHALL BE SETOUT AND PEGGED ACCURATELY PRIOR TO THE COMMENCEMENT OF WORKS BY A SUITABLY QUALIFIED SURVEYOR.

CONSTRUCTION SETOUT TABLE

POINT NO.	EASTING	NORTHING	RL (AHD)	DESCRIPTION
1	408343.028	6174124.320	124.02	DESIGN EDGE OF SEAL
2	408346.486	6174122.744	123.89	DESIGN ROAD CENTRELINE
3	408349.943	6174121.168	123.76	DESIGN EDGE OF SEAL
4	408350.908	6174123.285	–	DESIGN EDGE OF SEAL
5	408364.683	6174126.982	123.21	DESIGN EDGE OF SEAL
6	408383.286	6174167.793	–	DESIGN EDGE OF SEAL
7	408366.445	6174175.692	–	DESIGN EDGE OF SEAL
8	408371.181	6174176.764	123.00	ROAD CENTRELINE/GRADE CHANGE
9	408387.126	6174218.564	123.13	DESIGN EDGE OF SEAL
10	408390.488	6174216.787	123.00	DESIGN ROAD CENTRELINE
11	408392.823	6174212.883	122.87	DESIGN EDGE OF SEAL
12	408403.581	6174209.866	122.51	DESIGN EDGE OF SEAL
13	408407.553	6174216.753	122.51	DESIGN EDGE OF SEAL
14	408407.186	6174218.119	–	DESIGN EDGE OF SEAL
15	408397.726	6174221.733	–	DESIGN EDGE OF SEAL
16	408408.511	6174234.725	–	DESIGN EDGE OF SEAL
17	408398.461	6174238.218	–	DESIGN EDGE OF SEAL
18	408414.066	6174249.754	123.00	CENTRE POINT / RADIUS 10m
19	408404.604	6174253.429	–	DESIGN EDGE OF SEAL
20	408419.856	6174241.416	–	DESIGN EDGE OF SEAL
21	408424.164	6174250.785	122.67	EDGE OF CONCRETE BOAT RAMP
22	408453.691	6174279.274	117.81	EDGE OF CONCRETE BOAT RAMP
23	408448.137	6174285.032	117.81	EDGE OF CONCRETE BOAT RAMP
24	408420.062	6174257.944	122.67	EDGE OF CONCRETE BOAT RAMP

REV	DATE	DESIGN REVIEW	REV'D P.MGR	APP'D P.DIR	REVISIONS
–	–	–	–	–	–
2	23/10/17				ISSUED FOR CONSTRUCTION
1	30-08-17				ISSUED FOR DISCUSSION

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EARTHWORK NOTES

- E1. RECORDS SHALL BE KEPT OF ALL EARTHWORK CONSTRUCTION AS CONTAINED IN AS3798–2007 CLAUSE 3.4 AND A COPY MADE AVAILABLE TO THE SUPERINTENDENT UPON COMPLETION.
- E2. ALL TOPSOIL SHALL BE SPRAYED WITH A PRE-EMERGENT HERBICIDE PRIOR TO STRIPPING.
- E3. PRIOR TO THE COMMENCEMENT OF WORKS THE SITE SHALL BE STRIPPED AND MATERIAL STOCKPILED AT DESIGNATED LOCATIONS CLEAR OF THE WORKS.
- E4. ANY EXCESS TOPSOIL SHALL REMAIN THE PROPERTY OF THE PRINCIPAL AND IS TO BE STORED AS DIRECTED FOR USE IN THE FUTURE.
- E5. ALL SUBGRADE FILL MATERIAL IS NOT TO CONTAIN ANY VEGETABLE MATTER AND SHOULD CONFORM TO ONE OF THE CLASSES LISTED BELOW.

- * GW-SC WELL GRADED SAND AND GRAVEL WITH CLAY BINDER
- * GC CLAYEY GRAVEL SOILS
- * SW-SC SAND WITH CLAY BINDER
- * SC SILTY CLAY

- E6. ALL LOOSE FILL MATERIAL SHALL BE SPREAD BEFORE COMPACTION TO FORM AN EVEN LAYER THICKNESS. WHERE PRACTICABLE THE LAYERS SHALL BE PARALLEL TO THE FINISHED SURFACE OR HORIZONTAL.
- E7. FILL MATERIAL IS TO BE PLACED IN 150mm LAYERS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH AS 1289–E1.1.
- E8. DUST SUPPRESSION IS TO BE ACHIEVED USING AN APPROVED METHOD OR COMBINATION OF METHODS.
- E9. THE MOISTURE CONTENT OF THE FILL MATERIAL IS TO BE MONITORED AT ALL TIMES. WHERE NECESSARY ADDITIONAL WATER WILL BE BROUGHT TO THE SITE AND ADDED TO THE FILL MATERIAL AT A CONTROLLED RATE. THE WATER IS TO BE CLEAN AND CARTED/DISTRIBUTED USING APPROVED EQUIPMENT ONLY.
- E10. ANY SOFT AREAS ENCOUNTERED ARE TO BE INSPECTED BY THE SUPERINTENDENT. THE SUPERINTENDENT MAY DETERMINE THAT THE SOFT MATERIAL IS TO BE EXCAVATED AND REMOVED FROM THE SITE. WHERE THE MATERIAL WITHIN THE SOFT SPOT IS DEEMED BY THE SUPERINTENDENT TO BE RECOVERABLE THE SUPERINTENDENT MAY ALSO DETERMINE A METHODOLOGY FOR TREATING THE UNSUITABLE MATERIAL.
- E11. ALL HAULAGE ROUTES AND ALIGNMENTS WILL BE SUBJECT TO THE APPROVAL OF THE SUPERINTENDENT.
- E12. ALL UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO LITTER, BUILDING WASTE, STONE, RUBBLE, DEBRIS, ORGANIC MATERIAL, AND VEGETABLE MATTER SHALL NOT BE INCORPORATED INTO THE WORK. ALL SUCH MATERIAL SHALL BE COLLECTED ON A REGULAR BASIS AND STOCKPILED CLEAR OF THE WORKS AND IS TO BE DISPOSED OF BY THE CONTRACTOR TO AN APPROVED LOCATION.
- E13. DE-WATERING WHERE APPLICABLE IS TO BE CARRIED OUT IN ACCORDANCE WITH THE EPA'S "CONSTRUCTION GUIDELINES FOR MAJOR CONSTRUCTION SITES" – DECEMBER 1995.
- E14. ALL SURPLUS SPOIL MATERIAL NOT REQUIRED IS TO BE STOCKPILED CLEAR OF THE WORKS.
- E15. ALL BORROW MATERIAL REQUIRED FOR SUBGRADE WILL BE SOURCED FROM AN APPROVED LOCATION AND TESTED IN ACCORDANCE WITH AS 1209.3.8.1.
- E16. THE CONTRACTOR SHALL KEEP AND MAINTAIN DETAILED RECORDS OF THE COMPACTION METHOD USED AND THE PLACEMENT OF ALL FILL MATERIALS.
- E17. THERE IS TO BE NO FILL MATERIAL PLACED AGAINST OR WITHIN CLOSE PROXIMITY TO FENCES OR OTHER NON STRUCTURAL OBJECTS WITHOUT THE SUPERINTENDENTS PRIOR APPROVAL.

BEACHING NOTES

- B1. BEACHING STONE SHALL CONSIST OF CLEAN SOUND HARD QUARRIED ROCK OF UNIFORM QUALITY WITH AN UNCONFINED CRUSHING STRENGTH OF NOT LESS THAN 25MPa AND FREE OF DEFINED CLEAVAGE PLANES.
- B2. THE SIZE AND GRADING OF THE STONE SHALL CONFORM AS NEARLY AS PRACTICAL TO THE SIZES SET OUT IN TABLE 1.
- B3. THE MINIMUM THICKNESS SHALL BE AS DEFINED IN TABLE 1.
- B4. UNLESS NOTED OTHERWISE THE STANDARD BEACHING SIZE SHALL BE TYPE 3.
- B5. ALL BEACHING TO BE UNDERLAIN BY BIDIM A44 OR APPROVED EQUIVALENT GEOTEXTILE MEMBRANE KEYED IN ALONG ALL EDGES.

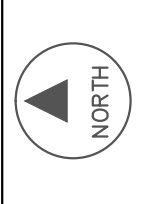
TABLE 1

% PASSING SCREEN SIZE				
% PASSING	TYPE 2	TYPE 3	D50 = 225	
450mm	–	–	100	
300mm	–	100	70-95	
225mm	100	70-95	40-65	
150mm	60-65	50-70	20-35	
75mm	40-65	35-50	10-20	
37.5	20-35	15-30	–	
26.5	10-20	10-20	–	
MINIMUM LAYER THICKNESS	150	225	300	

EARTHWORKS AND CONCRETE SCHEDULE

ITEM	SEAL (m2)	BASECOURSE (m3)	SUBBASE (m3)	CUT (m3)	FILL (m3)	CONCRETE (m3)	CONCRETE BASE CLASS 2 FOR (m3)	CONCRETE STRENGTH (MPa)
SEALED ROADWAY	2519	497	663	350	1318			
UNSEALED ROADWAY		2376						
BOAT RAMP				350.75	4.5	81	45.5	40
ACCESS RAMP						21	19	25
TOTALS	2519	2873	663	680.75	1322.50	102	64.50	

LEVEL BOOK: AMS-BK101



SCALE		N.T.S.	
SURVEYED BY	D.LEE	DRAWN	D.LEE
DESIGNED	D.LEE	DATE	30-08-17



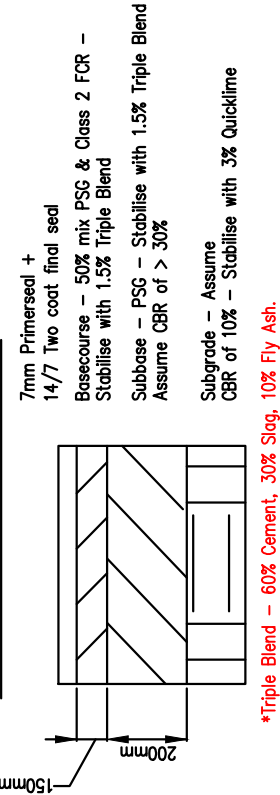
DEVELOPMENTS
PTY LTD A.C.N.106 901 777



LOCALITY PLAN

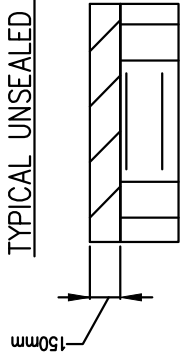
SCALE – NTS

TYPICAL SEALED PAVEMENT



*Triple Blend – 60% Cement, 30% Slog, 10% Fly Ash.

TYPICAL UNSEALED PAVEMENT



*Triple Blend – 60% Cement, 30% Slog, 10% Fly Ash.

DRAWING SET REGISTER		
DRAWING NO.	DRAWING DESCRIPTION	REVISION
2016-107/SHT1	DESIGN NOTES AND LOCALITY PLAN	2
2016-107/SHT2	DESIGN NOTES 2	2
2016-107/SHT3	SITE PLAN	3
2016-107/SHT4	BOAT RAMP SITE PLAN	3
2016-107/SHT5	RIVER CROSS-SECTIONS	3
2016-107/SHT6	RAMP CROSS-SECTIONS	3
2016-107/SHT7	ROADWAY CROSS-SECTIONS	2
2016-107/SHT8	ROADWAY LONGITUDINAL SECTION	2
2016-107/SHT9	DESIGN DETAILS	2
2016-107/SHT10	PAVEMENT LINE MARKING DETAILS	2
2016-107/SHT11	PONTOON DESIGN PLAN AND DETAILS	2

MURRUMBIDGE SHIRE COUNCIL / APEX CLUB
PROPOSED DARLINGTON POINT BOAT RAMP
DESIGN NOTES & LOCALITY PLAN

RICH RIVER IRRIGATION DEVELOPMENTS Unit 1, 164 Ogilvie Avenue, Echuca. 3564. Telephone (03) 5482 2564 Fax (03) 5482 1918 Email admin@rid.com.au		SHEET NUMBER	DRAWING NUMBER	REVISION
		01 of 11	2016-107	2

CONCRETE GENERAL

- C1. CONCRETE SHALL BE IN ACCORDANCE WITH AS3600 CONCRETE STRUCTURES.
- C2. EXPOSURE CLASSIFICATION FOR DURABILITY IS B1.
- C3. CONCRETE TO BE AS FOLLOWS:
- | STRUCTURAL ELEMENT | WALKWAY | BOAT RAMP SLAB |
|----------------------|---------|----------------|
| STRENGTH GRADE (MPa) | N25 | N40 |
| CEMENT TYPE | GP | GP |
- C4. MINIMUM 15mm CHAMFERS ARE REQUIRED ON ALL EXPOSED CONCRETE EDGES AND CORNERS.
- C5. THE USE OF CONCRETE ADMIXTURES WHERE REQUIRED SHALL BE SUBJECT TO THE APPROVAL OF THE SUPERINTENDENT AND SHALL CONFORM TO AS1478.1. WHERE FORMS TO BE STRIPPED BEFORE 24 HRS SIKA RAPID 1 OR EQUIVALENT SHOULD BE USED.
- C6. SURFACE FINISHES SHALL BE IN ACCORDANCE WITH AS3610 UNLESS SHOWN OTHERWISE ON DRAWINGS.
- C7. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENOUS MASS, COMPLETELY FILLING THE FORMWORK THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED WITH MECHANICAL VIBRATORS.
- C8. ELAPSED TIME BETWEEN WETTING OF MIX AND DISCHARGE OF CONCRETE AT SITE MUST BE AS SHORT AS POSSIBLE AND COMPLY WITH THE FOLLOWING.

CONCRETE TEMPERATURE AT TIME OF DISCHARGE (°C)	MAXIMUM ELAPSED TIME (HOURS)
10-24	2.00
24-27	1.50
27-30	1.00
30-32	0.75

- C9. NO UNCONTROLLED WATER TO BE ADDED ON SITE WITHOUT PRIOR CONSENT OF MIX DESIGNER.
- C10. THE COVER OR "CLEAR COVER" AS STATED ON THE DRAWINGS, SHALL BE THE CLEAR DISTANCE FROM THE FACE OF ANY REINFORCEMENT, WIRE TIES FOR FIXING REINFORCEMENT, FORMWORK FIXINGS OR SIMILAR METAL WORK TO THE NEAREST CONCRETE SURFACE.

- C11. COVER TO BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

SUBSTRATE	MINIMUM COVER (mm)
DAMP PROOF MEMBRANE	40
BLINDING LAYER	50
ON GROUND	75

- C12. CONCRETING SHALL BE COMMENCED AT THE LOWEST LEVEL OF EACH PART OF THE WORK AND SHALL BE BROUGHT UP IN A MANNER APPROVED BY THE PROJECT MANAGER, THE LAYING ROUTINE BEING SUCH THAT EACH LAYER MUST STILL BE SOFT WHEN A NEW LAYER IS PLACED UPON IT. THE CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY APPROVED VIBRATORS.
- C13. CONCRETE SHALL NOT BE PLACED IN WATER, EXCEPT WITH THE APPROVAL OF THE PROJECT ENGINEER, AND THEN UNDER SUCH CONDITIONS AS THE PROJECT ENGINEER MAY IMPOSE.
- C14. IMMEDIATELY BEFORE PLACING CONCRETE, ALL SURFACES OR FOUNDATION UPON OR AGAINST WHICH THE CONCRETE IS TO BE PLACED, SHALL BE FREE FROM STANDING WATER (EXCEPT AS PROVIDED ABOVE), MUD, OR DEBRIS. ALL SURFACES OF ROCK UPON OR AGAINST WHICH CONCRETE IS TO BE PLACED, SHALL IN ADDITION, BE FREE AND CLEAN FROM OIL, OBJECTIONABLE COATINGS AND FROM ALL LOOSE, SEMI DETACHED OR UNSOUND FRAGMENTS. THE SURFACE OF ABSORPTIVE FOUNDATIONS AGAINST WHICH CONCRETE IS TO BE PLACED SHALL BE MOISTENED THOROUGHLY.
- C15. DO NOT USE VIBRATORS TO MOVE CONCRETE ALONG FORMS, USE PLACEMENT METHODS THAT WILL MINIMISE PLASTIC SETTLEMENT AND SHRINKAGE CRACKING. LIMIT VERTICAL FREE FALL BY USE OF CHUTES, ETC. KEEP CHUTES VERTICAL. FULL AND IMMersed IN PLACED CONCRETE. PLACE CONCRETE IN LAYERS AND BLEND SUCCEEDING LAYERS BY COMPACTION. MAINTAIN A PLASTIC CONCRETE EDGE BETWEEN CONSTRUCTION JOINTS. PROPERLY COMPACT CONCRETE USING MECHANICAL VIBRATORS (AND HAND METHODS IF REQUIRED) TO REMOVE AIR BUBBLES AND GIVE MAXIMUM COMPACTION WITHOUT SEGREGATION OF CONCRETE. TAKE CARE TO AVOID CONTACT BETWEEN VIBRATORS AND PARTIALLY HARDENED CONCRETE, FORMWORK OR REINFORCEMENT.

- C16. IN COLD WEATHER MAINTAIN TEMPERATURE OF FRESHLY MIXED CONCRETE WITHIN LIMITS SHOWN BELOW. 'OUTDOOR' AIR TEMPERATURE IS AIR AT TIME OF MIXING, OR PREDICTED OR LIKELY AIR TEMPERATURE DURING NEXT 48 HOURS. BEFORE AND WHILE PLACING CALCULUM MAINTAIN TEMPERATURE OF FORMWORK AND REINFORCEMENT AT >5°C. DO NOT USE CALCEUM CHLORIDE, SALTS, CHEMICALS OR OTHER MATERIAL IN MIX TO LOWER THE FREEZING POINT OF CONCRETE. DO NOT ALLOW FROZEN MATERIALS TO ENTER MIXER. KEEP FORMS, MATERIALS, EQUIPMENT IN CONTACT WITH CONCRETE FREE OF FROST AND ICE. HEAT CONCRETE MATERIALS (OTHER THAN CEMENT) TO MINIMUM TEMPERATURE NECESSARY TO ENSURE TEMPERATURE OF PLACED CONCRETE IS WITHIN LIMITS SPECIFIED. MAXIMUM WATER TEMPERATURE: 60°C WHEN PLACED IN MIXER.

OUTDOOR AIR TEMPERATURE	TEMPERATURE OF CONCRETE	
	MINIMUM	MAXIMUM
>5°C	10°C	32°C
>5°C	18°C	32°C

- C17. IN HOT WEATHER PREVENT PREMATURE STIFFENING OF FRESH CONCRETE; REDUCE WATER ABSORPTION AND EVAPORATION LOSSES. MIX, TRANSPORT, PLACE AND COMPACT CONCRETE AS QUICKLY AS POSSIBLE. DURING PLACEMENT TEMPERATURE OF CONCRETE MUST NOT EXCEED TEMPERATURES BELOW.

CONCRETE ELEMENT	TEMPERATURE
NORMAL CONCRETE IN FOOTINGS, BEAMS, COLUMNS, WALLS AND SLABS f'c ≥ 32MPa	35°C
MASS CONCRETE SECTIONS ≥ 10m EACH DIMENSION, OR CONCRETE f'c ≥ 40 MPa IN SECTIONS ≥ 600mm THICKNESS	27°C

- C18. DO NOT MIX CONCRETE WHEN SURROUNDING OUTDOOR SHADE TEMPERATURE ≥ 38°C MAINTAIN TEMPERATURE OF FORMWORK AND REINFORCEMENT AT ≤32°C BEFORE AND DURING PLACING. MAINTAIN SPECIFIED TEMPERATURE OF PLACED CONCRETE BY:

- COOL CONCRETE USING LIQUID NITROGEN INJECTION BEFORE PLACING, OR
- COVER CONTAINER IN WHICH CONCRETE IS TRANSPORTED TO FORMS, OR
- SPRAY COARSE AGGREGATE USING COLD WATER OR USE CHILLED MIXING WATER.

- C19. PROTECT FRESH CONCRETE FROM PREMATURE DRYING - PARTICULARLY IN HOT, WINDY OR DRY (LOW HUMIDITY) CONDITIONS. EXCESSIVELY HOT OR COLD TEMPERATURES, RAIN, ETC. PROVIDE WIND BREAKS. MAINTAIN CONCRETE AT A REASONABLY CONSTANT TEMPERATURE WITH MINIMUM MOISTURE LOSS FOR CURING PERIOD.

- C20. KEEP ON SITE A LOG BOOK RECORDING EACH PLACEMENT OF CONCRETE INCLUDING DATE, CLIMATIC CONDITIONS, PORTION OF WORK, SPECIFIED GRADE AND SOURCE OF CONCRETE, DELIVERY DOCKET DATA, METHODS OF PLACEMENT AND COMPACTION, PROJECT ASSESSMENT CARRIED OUT, SLUMP MEASUREMENT AND VOLUME.

- C21. CONSTRUCTION JOINTS OR POUR BREAKS WHERE NOT SHOWN ON THE DRAWINGS SHALL BE LOCATED AND FORMED TO THE APPROVAL OF THE PROJECT ENGINEER.

- C22. CURING OF ALL CONCRETE SHALL COMMENCE NO LATER THAN 2 HOURS AFTER FINISHING OPERATIONS HAVE BEEN COMPLETED. THE CONCRETE SHALL BE CURED FOR A PERIOD OF 7 DAYS (UNLESS APPROVED OTHERWISE BY THE ENGINEER) BY ONE OF THE FOLLOWING METHODS:

- PONDING OR CONTINUOUS SPRINKLING WITH WATER.
- USE OF AN ABSORPTIVE COVER KEPT CONTINUOUSLY WET.
- COATING WITH AN APPROVED SPRAYED MEMBRANE CURING COMPOUND WHERE COMPATIBLE WITH FINISHES.
- USE OF AN APPROVED MOISTURE RETAINING COVERING SUCH AS HEAVY GAUGE BUILDERS PLASTIC OR PAPER FIRMLY HELD AGAINST CONCRETE SURFACES TO PREVENT AIR CIRCULATION.

- C23. CONSTRUCTION SUPPORT PROPPING SHALL BE LEFT IN PLACE WHEN NEEDED TO AVOID OVERSTRESSING THE STRUCTURE DUE TO CONSTRUCTION LOADING. WHEN AIR TEMPERATURE IS BELOW 5°C OR ABOVE 35°C SPECIAL CONCRETE PLACEMENT PRECAUTIONS SHALL BE TAKEN IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE.

- C24. STRIP FORMWORK TO AS3600 CLAUSE 17.6. REMOVE FROM TIE BOLTS WITHOUT DAMAGING CONCRETE. PARTS OF BOLTS LEFT IN CONCRETE MUST NOT INTRUDE INTO COVER CONCRETE. FLUSH FILL HOLES USING MATERIAL MATCHING CONCRETE SURFACE COLOUR, STRENGTH AND DURABILITY.

- C25. THE CONCRETE FINISH SHALL BE TO THE SATISFACTION OF THE PROJECT ENGINEER.

- C26. SURFACE IRREGULARITIES SHALL BE TESTED BY USE OF A TEMPLATE 15m LONG AND SHALL CONSIST OF A STRAIGHT EDGE. THE MAXIMUM SURFACE IRREGULARITY FOR EACH CLASS OF FORMWORK MEASURED USING THE TEMPLATE SHALL BE AS FOLLOWS:

- CLASS 2 - 5mm
- CLASS 3 - 7mm
- CLASS 4 - NO MEASUREMENT REQUIRED.
- CLASS 5 - NO MEASUREMENT REQUIRED.

- C27. THOSE CONCRETE SURFACES REQUIRED TO BE RENDERED AND ANY OTHER CONCRETE SURFACE WHICH THE PROJECT ENGINEER MAY ORDER TO BE RENDERED SHALL BE TREATED AS FOLLOWS:

- THE CONCRETE SURFACE SHALL BE SCABBLED AND DAMPENED.

- CEMENT MORTAR, MIXED IN THE PROPORTION OF 80kg OF PORTLAND CEMENT TO 0.1m³ OF SAND (DRY RODDED MEASUREMENT), SHALL BE APPLIED IN ONE OR TWO COATS, AS MAY BE ORDERED BY THE PROJECT MANAGER, TO FORM A TOTAL THICKNESS OF ABOUT 19mm.

- FOR TWO-COAT WORK, THE FIRST COAT SHALL BE WELL WORKED ON TO THE SURFACE AND SHALL BE SCORED BEFORE IT HAS SET HARD AND SHALL BE KEPT DAMP UNTIL THE SECOND COAT IS APPLIED.

- C28. ALL CONCRETE PILES SHALL BE INSTALLED IN ACCORDANCE WITH AS2159.

FORMWORK

- FW1. ALL FORMWORK TO BE CLASS 3 IN ACCORDANCE WITH AS 3610.

- FW2. ALL HOLES LEFT BY FORM TIES TO BE PLUGGED TO FULL COVER DEPTH WITH CEMENTITIOUS GROUT.

- FW3. FORMS TO BE CLEANED OF ANY TIE WIRE, REINFORCEMENT OFFCUTS, SCREWS, FIXINGS, DIRT ETC. BEFORE POUR.

- FW4. FORM SURFACES SHALL BE SMOOTH AND FREE FROM HOLES OR IRREGULARITIES, AND TO THE SATISFACTION OF THE PROJECT MANAGER. BEFORE CONCRETE IS PLACED, THE SURFACES OF THE FORMS SHALL BE COATED WITH AN APPROVED FORM COATING THAT WILL EFFECTIVELY PREVENT STICKING AND WILL NOT STAIN THE CONCRETE SURFACES.

- FW5. MINIMUM FORMWORK STRIPPING TIMES FOR VERTICAL FACES SHALL BE AS GIVEN IN AS 3610, TABLE 5.4.1.

SEALANT

- PS1. SEALANT TO BE EMERSEAL PU40 OR APPROVED EQUIVALENT INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR IMMersed WATER APPLICATIONS OR APPROVED ALTERNATIVE.

- PS2. SURFACE TO BE PREPARED USING PARCHEM PRIMER 13 OR APPROVED ALTERNATIVE.

REINFORCEMENT

- R1. REINFORCEMENT SHALL BE DEEMED TO INCLUDE ALL REINFORCING BARS, REINFORCING MESH, AND DOVEL BARS. REINFORCEMENT SHALL COMPLY WITH AS4671-2001.

- R2. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY; IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.

- R3. REINFORCING MESH TO BE GRADE D500L COLD ROLLED HIGH STRENGTH DEFORMED FABRIC IN ACCORDANCE WITH AS 4671

- R4. REINFORCING BARS TO BE GRADE D500N HOT ROLLED HIGH STRENGTH DEFORMED BARS IN ACCORDANCE WITH AS 4671.

- R5. N12 TRIM BARS ARE REQUIRED ON ALL SLOPING, VERTICAL AND HORIZONTAL FACES OF CONCRETE WHERE THERE IS NO OTHER BAR WITHIN 100mm OF THAT FACE.

- R6. LAPPING OF REINFORCING BARS AND FABRIC TO BE IN ACCORDANCE WITH AS 3600.

- R7. REINFORCEMENT WHICH REQUIRES FABRICATION OR BENDING TO SHAPE SHALL BE SUPPLIED IN THE FULL LENGTH SHOWN ON THE DRAWINGS. REINFORCEMENT SHALL BE COLD BENT TO THE SPECIFIED SHAPE. BARS SHALL NOT BE BENT AFTER FABRICATION UNLESS SHOWN ON THE DRAWINGS.

- R8. STRAIGHT BARS SHALL BE SUPPLIED TO THE FULL LENGTHS SHOWN ON THE DRAWINGS. WHERE LAPPING OF STRAIGHT BARS IS UNAVOIDABLE, SUCH LAPS SHALL BE STAGGERED AND A MINIMUM OF TWO WIRE TIES PLACED AT EACH LAP.

- R9. REINFORCING MESH IS TO BE LAPPED A MINIMUM OF TWO BARS AT ANY SPLICE.

- R10. WHERE NOT SHOWN ON THE DRAWINGS, ADOPT THE FOLLOWING LAP SPLICE LENGTHS.

BAR SIZE & TYPE	HORIZONTAL BARS WITH MORE THAN 300mm CONCRETE CAST BELOW	OTHER BARS
N12	375	300
N16	560	450
N20	830	660
N24	1150	920
N28	1530	1220
N32	1900	1520
N36	2340	1870

REINFORCEMENT SYMBOLS:

- N GRADE D500N DEFORMED BAR.
RL & SL GRADE D500L DEFORMED FABRIC
THE NUMBER FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN MILLIMETRES.

- R12. REINFORCEMENT NOTATIONS:

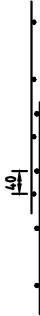
- EF EACH FACE
EW EACH WAY
T TOP
B BOTTOM
CP CENTRALLY PLACED

- R13. WELDING OF REINFORCEMENT WILL ONLY BE PERMITTED WITH THE PRIOR APPROVAL OF THE ENGINEER.

- R14. A BOND BREAKING MATERIAL SHALL BE USED BETWEEN CONTACTING SURFACES AT CONTROL JOINTS. REFER DRAWINGS. REINFORCEMENT SHALL NOT BE CONTINUOUS THROUGH CONTROL JOINTS UNLESS NOTED OTHERWISE.

- R15. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON EITHER PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1000 CRS BOTH WAYS, BARS SHALL BE TIED AT ALTERNATIVE INTERSECTIONS.

- R16. SUPPLY AND LAY FABRIC IN FLAT SHEETS. AT SPLICES, FABRIC SHALL BE LAPPED AS FOLLOWS:



- MAXIMUM THREE SHEETS OF FABRIC TO BE LAPPED AT ANY SPLICE

- R17. ALL STARTER BARS TO EXISTING CONCRETE TO BE GROUTED USING EITHER HIL TI HIT-HY 150 MAX. OR HIL TI HIT-RE 500.

- R18. BEFORE THE REINFORCEMENT IS PLACED, THE SURFACE OF THE REINFORCEMENT AND THE SURFACES OF ANY METAL BAR SUPPORTS SHALL BE CLEANED OF ANY HEAVY RUST, LOOSE MILL SCALE, DIRT, GREASE AND OTHER FOREIGN SUBSTANCES. AFTER BEING PLACED, THE REINFORCEMENT SHALL BE MAINTAINED IN A CLEAN CONDITION UNTIL IT IS COMPLETELY EMBEDDED IN THE CONCRETE.



- R19. REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED TO PREVENT DISPLACEMENT DURING ALL STAGES OF CONCRETING. TACK WELDING OR WIRE TIES ARE ACCEPTABLE METHODS FOR PREVENTING SUCH DISPLACEMENT.

- R20. WHERE APPROVED BY THE PROJECT ENGINEER THE CONTRACTOR SHALL BE PERMITTED TO LOCATE JOINTS OR SPLICES AT LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS.

- R21. WHERE WELDED SPLICES IN REINFORCING BARS ARE USED, THE EQUIPMENT, MATERIALS AND ALL WELDING AND TESTING PROCEDURES SHALL BE IN ACCORDANCE WITH AS 1554.3 - 2002. REINFORCING BAR LAP LENGTHS SHALL BE MAINTAINED ACROSS ALL WELDED LOCATIONS.

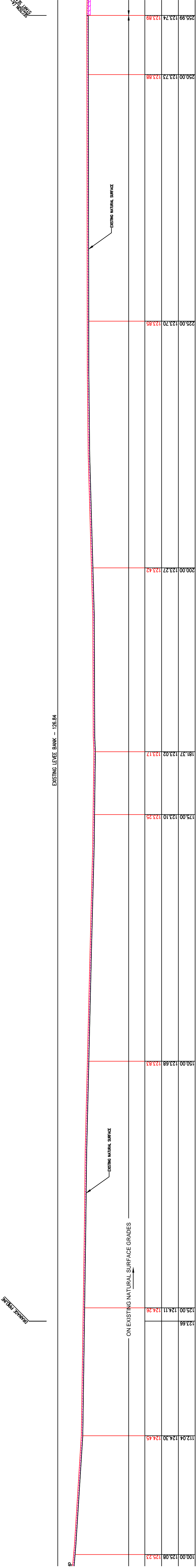
COFFER DAM

- CD1. STEEL SHEET PILE COFFER TO BE INSTALLED IN ACCORDANCE WITH AS2159.

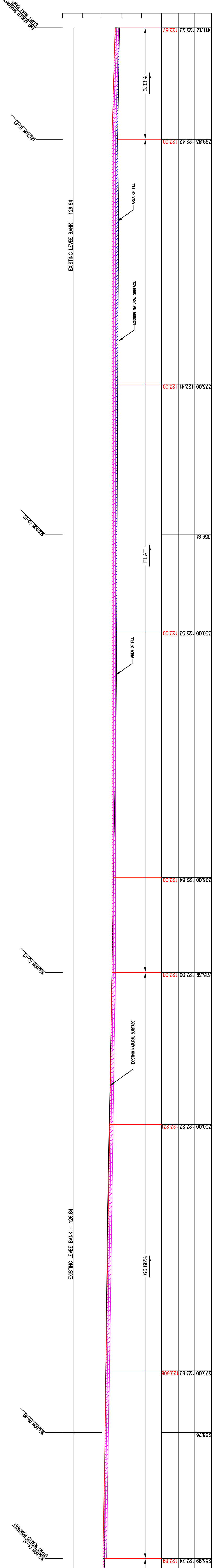
MURRUMBIDGEE SHIRE COUNCIL / APEX CLUB										PROPOSED DARLINGTON POINT BOAT RAMP																	
DESIGN NOTES 2										RICH RIVER IRRIGATION DEVELOPMENTS Unit 1, 164 Ogilvie Avenue, Echuca. 3564. Telephone (03) 5482 2564 Fax (03) 5482 1918 Email admin@rrid.com.au										SHEET NUMBER 02 OF 11		DRAWING NUMBER 2016-107		REVISION 2			
																				LEVEL BOOK: AMS-BK101							
																				SCALE N.T.S.							
<p>COPYRIGHT The end information contained in this document are the copyright of rich river irrigation developments.</p> <p>Use or copying of this by a party in whole or part without the written permission of Rich River Irrigation Developments constitutes an infringement of copyright.</p>										<p>DEVELOPMENTS PTY LTD A.C.N.106 901 777</p>										SURVEYED BY D.LEE		DRAWN D.LEE		DESIGNED D.LEE		DATE 30-08-17	
																				REV		DATE		DESIGN REVIEW		REV'D P.MGR	
2		23/10/17																									
1		30/08/17																									



DESIGN ROAD LONGITUDINAL SECTION - (0-100)
SCALE 1:200 HORIZONTAL 1:200 VERTICAL
(LOOKING NORTH WEST)



DESIGN ROAD LONGITUDINAL SECTION - (100-255.99)
SCALE 1:200 HORIZONTAL 1:200 VERTICAL
(LOOKING NORTH WEST)

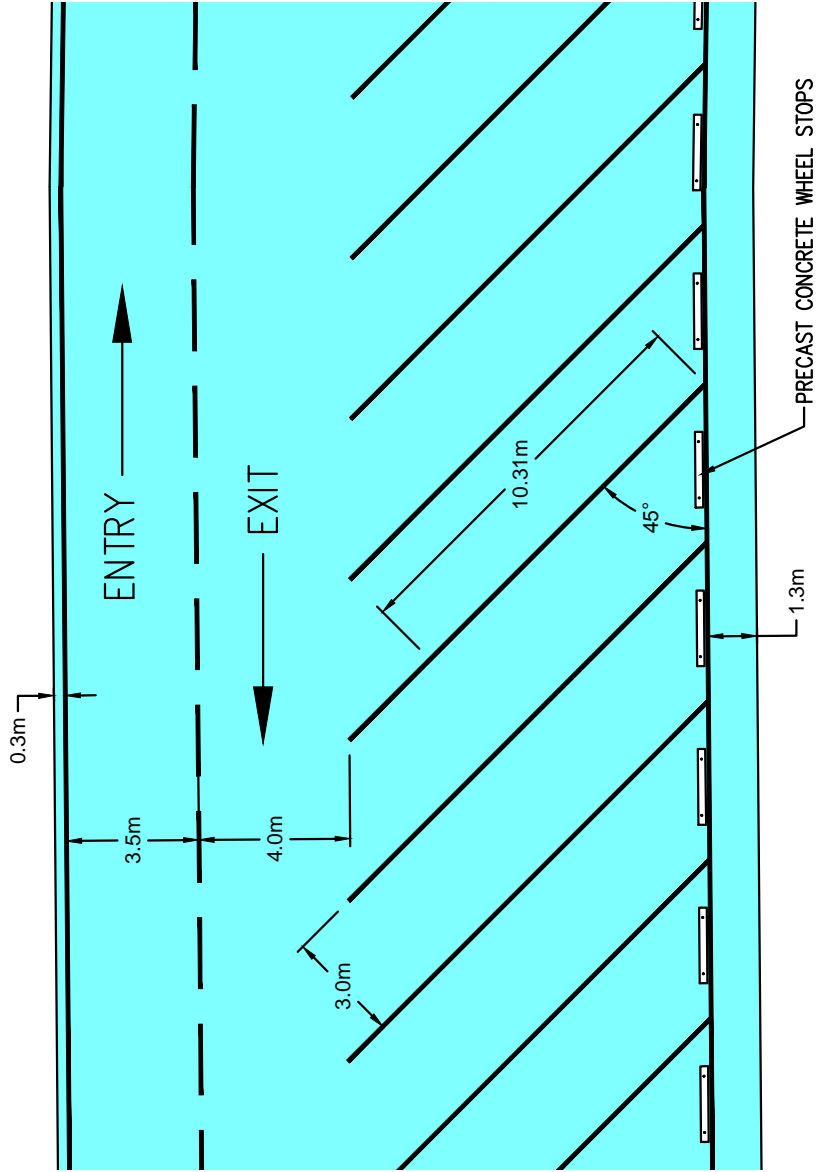


DESIGN ROAD LONGITUDINAL SECTION - (255.99-411.12)
SCALE 1:200 HORIZONTAL 1:200 VERTICAL
(LOOKING NORTH WEST)

LEGEND

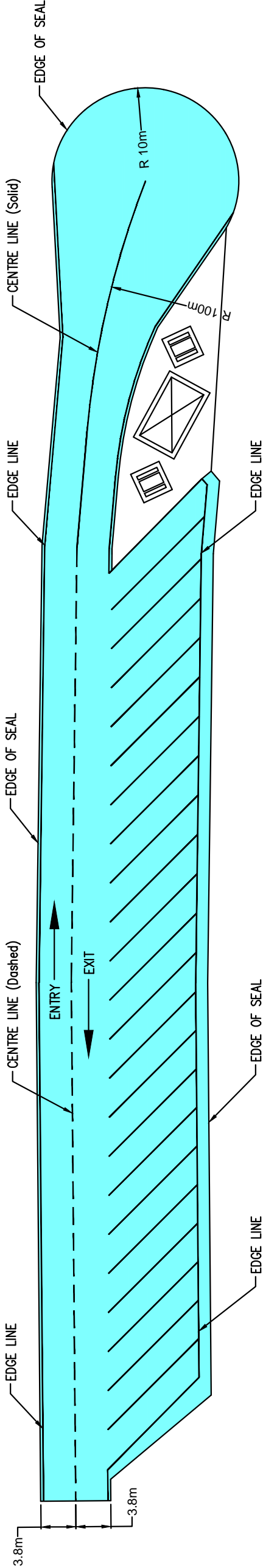
- BASECOURSE
- SUBBASE
- AREA OF FILL

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PARKING BAY DIMENSIONS

1: 200 (A3)



PAVEMENT LINEMARKING PLAN

1: 500 (A3)

MURRUMBIDGEE SHIRE COUNCIL / APEX CLUB										PROPOSED DARLINGTON POINT BOAT RAMP										PAVEMENT LINEMARKING DETAILS										RICH RIVER IRRIGATION DEVELOPMENTS										Unit 1, 164 Ogilvie Avenue, Echuca. 3564.										Telephone (03) 5482 2564 Fax (03) 5482 1918 Email admin@rird.com.au										SHEET NUMBER										10 OF 11										DRAWING NUMBER										2016-107										REVISION										2																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	



Our reference: 18/07875
LOC No: 601271

Letter to Applicant (consent granted)

Adam Craig
Phone: 02 69 37 2705
adam.craig@crownland.nsw.gov.au

Habitat Planning (On behalf of Murrumbidgee Council)
Suite 1, 622 Macauley Street
Albury NSW 2640

26 November 2018

Dear Sir,

Consent for development Comprising:	Construction of a public boat ramp, floating pontoon and associated infrastructure
Crown land:	Lot 7312, DP 1159328
Crown reserve	R 42796
Parish:	Waddi
County:	Boyd

Consent is granted by the Minister for Lands and Forestry to the lodgement of applications for approval under the *Environmental Planning and Assessment Act 1979*, and other associated applications required under other legislation, for the development proposal described above.

The Land Owner Consent is granted conditional to the following:

1. Land Owner Consent will expire after a period of 12 months from the date of this letter if not acted on within that time. Extensions of this consent may be sought
2. You are required to forward a copy of the approval to the NSW Department of Industry - Lands and Water ("the Department") after approval and prior to commencing works.
3. You are required to ensure that the approval provided is consistent with this Land Owner Consent.
4. You **must apply to the Department for a licence to construct** on the Crown land and within the Crown waterway prior to works being undertaken.
5. The Land Owner Consent is provided for the works detailed on the plans provided by you and retained by the Department as DOC18/240721-Development Application-Murrumbidgee Council, DOC18/233600-Statement of Environmental Effects and DOC18/221390 Plans and Drawings (Original Owners Consent application).

Land Owner Consent is granted in accordance with the following:

- Land Owner Consent is given without prejudice so that consideration of the proposed development may proceed under the *Environmental Planning and Assessment Act 1979* and any other relevant legislation;
- The grant of this Land Owner Consent does not guarantee that any subsequent authority to occupy will be granted;

- Land Owner Consent does not imply the concurrence of the Minister for Lands and Forestry for the proposed development and does not provide authorisation under the *Crown Lands Management Act 2016* for this proposal;
- The issue of Land Owner Consent does not prevent the Department from making any submission commenting on, supporting or opposing an application;
- The Minister reserves the right to issue Land Owner Consent for the lodgement of applications for any other development proposals on the subject land concurrent with this Land Owner Consent;
- Any changes made to the proposal, including those imposed by the consent authority, must be consistent with the Land Owner Consent and therefore if modifications are made to the proposed development details must be provided to the Department for approval;
- Land Owner Consent also allows application to any other approval authority necessary for this development proposal.

This letter should be submitted to the relevant consent or approval authority in conjunction with the development application and/or any other application. You are responsible for identifying and obtaining all other consents, approvals and permits required under NSW and Commonwealth laws from other agencies for the proposed development.

It is important that you understand your obligations relating to Condition 3. If any alterations are made to the application (whether in the course of assessment, by conditions of consent, or otherwise), it is your responsibility to ensure the amended or modified development remains consistent with this Land Owner Consent. If there is any inconsistency or uncertainty you are required to contact the Department before undertaking the development to ensure that the Department consents to the changes. A subsequent LOC application may incur additional application fees.

It is advised that the Department will provide Murrumbidgee Council a copy of this Land Owner Consent and will request that Council notify the Department of the subsequent development application, for potential comment, as part of any public notification procedure.

During the assessment of your proposal it was noted that native title has not been extinguished on the subject land and that the proposal may require notification under the Native Title Act in order to afford any claimants or potential claimants procedural rights. This will be undertaken by the Department once an application to authorise your proposed occupation of Crown land is lodged.

For further information, please contact Adam Craig via the details given in the letter head.

Yours sincerely



Adam Craig
Senior Natural Resource Management Officer
Department of Industry – Crown Lands and Water, Griffith & Hay

Attachment A – Location Map





Transport
Roads & Maritime
Services

28 February 2019

Susan Appleyard
Manager of Planning & Environment
Murrumbidgee Council
PO Box 5
Darlington Point NSW 2706

Dear Ms Appleyard

Subject: DA30-18/19 – Public boat ramp, floating pontoon walkway and associated infrastructure – Lot 7312; 7008; 5 DP 1159328; 1021217; 804882 – Stock St, Darlington Point NSW

In response to your correspondence dated 7 February 2019, I wish to confirm that the NSW Maritime Division of Roads and Maritime Services (RMS) have **no objections** to this proposal assessed on the grounds of impact to navigation.

RMS assessed this proposal based on the purpose of the proposed structure is to provide for enhanced access to the waterway detailed, and the related 'temporary' occupation of vessels and other watercraft, rather than for the permanent occupation of any vessel or apparatus.

I can advise you the Transport for NSW 'Boating Now' infrastructure program is currently in the delivery/build phase, and that the future of the program is expected to be known in the middle of 2019 when a fresh round of proposals will be considered should the program continue.

It is important to note that no agent shall be exempt from the provisions of the *Marine Safety Act 1998*, or any other relevant legislation, and all agents must comply with any direction given by Roads and Maritime officers with regard to the prevention of pollution.

Should you have any queries in relation to this matter, please contact Senior Boating Safety Officer, Darren Hulm on 0419 751 856.

Yours sincerely,

Deon Voyer
Manager Operations South
Maritime Operations & Compliance Branch

RECEIVED
08 MAR 2019

BY:

Matt Johnson

From: Peter McGaffin <peter.mcgaffin@finance.nsw.gov.au>
Sent: Wednesday, 3 April 2019 11:19 AM
To: Matt Johnson
Cc: Matthew Lai
Subject: FW: Darlington Point - Public Boat Ramp, Floating Pontoon Walkway

Matt,

Further to Matthews comments, if the construction of the boat ramp in any way encroaches the levee structure, it is up to the client to have appropriate engineering design undertaken to retain remaining levee structure.

I would also strongly advise that our civil designers who designed the levee, are given the opportunity to provide comment on any required retaining design as we have not spent millions of dollars on the levee structure to have it weakened by adjacent construction. Funding for this audit will be required to be paid for by the boat ramp project.

It is worth noting that the location where the boat ramp is proposed will encounter the highest flow rates during a flood event being on the outside of the bend in the river.

This is the primary reason why the boat ramp and surrounds requires a sound civil design.

Regards

Peter McGaffin
Project Manager
NSW Public Works Advisory
Riverina/Western Region
1998 Silver City Hwy, Dareton, 2717
T 03 5019 8412 M 0417 431 256
peter.mcgaffin@finance.nsw.gov.au



Department of Finance, Services and Innovation

From: Matthew Lai
Sent: Wednesday, 3 April 2019 9:11 AM
To: Matt Johnson <matt@habitatplanning.com.au>; Peter McGaffin <peter.mcgaffin@finance.nsw.gov.au>
Subject: RE: Darlington Point - Public Boat Ramp, Floating Pontoon Walkway

Hi Matt,

That is correct, PWA has no approval authority over Council's proposed development under the EP&A Act.

Regards,

Matthew Lai
Project Manager
Riverina Western Region

NSW Public Works Advisory | Department of Finance, Services and Innovation
p 02 6938 2882 | 0408 379 978
e matthew.lai@finance.nsw.gov.au | www.publicworks.nsw.gov.au
4-6 Coleman Street, Wagga Wagga NSW 2650

From: Matt Johnson [<mailto:matt@habitatplanning.com.au>]
Sent: Wednesday, 3 April 2019 8:48 AM
To: Peter McGaffin <peter.mcgaffin@finance.nsw.gov.au>
Cc: Matthew Lai <matthew.lai@finance.nsw.gov.au>
Subject: RE: Darlington Point - Public Boat Ramp, Floating Pontoon Walkway

Hi Peter,

Thank you for forwarding me a copy of your previous email.
Is the reason that Public Works Advisory cannot respond to the DA is because they are not an integrated approval authority?

From my initial assessment of the boat ramp, it appears that it will require alterations to the existing flood levee.

Kind regards,

Matt Johnson Senior Planner



Suite 1 / 622 Macauley Street Albury NSW 2640
p. 02 6021 0662 m. 0432 840 691
www.habitatplanning.com.au

TOWN PLANNING + URBAN DESIGN CONSULTANTS

From: Peter McGaffin <peter.mcgaffin@finance.nsw.gov.au>
Sent: Tuesday, 2 April 2019 3:50 PM
To: Matt Johnson <matt@habitatplanning.com.au>
Cc: Matthew Lai <matthew.lai@finance.nsw.gov.au>
Subject: FW: Darlington Point - Public Boat Ramp, Floating Pontoon Walkway

Matt,
The letter sent to us by Murrumbidgee Council was responded to via e-mail on 7/3/2019.

This e-mail is attached for your information.

Summarising the response, Public Works Advisory is not in a position to respond to Council's development under the EP&A Act 1979.

Regards

Peter McGaffin
Project Manager
NSW Public Works Advisory
Riverina/Western Region

Matt Johnson

From: Matthew Lai <matthew.lai@finance.nsw.gov.au>
Sent: Thursday, 7 March 2019 2:48 PM
To: Peter McGaffin
Subject: FW: Integrated Development Approval No DA30-18/19
Attachments: IGA_21_2_2019_10_8_17_636.pdf

Pete,

FYI, email sent to Council.

Regards,

Matthew

From: Matthew Lai
Sent: Thursday, 21 February 2019 10:45 AM
To: 'mail@murrumbidgee.nsw.gov.au' <mail@murrumbidgee.nsw.gov.au>
Subject: Integrated Development Approval No DA30-18/19

Good morning,

I have tried to contact Council's Susan Appleyard without much luck. Hoping you could pass on this message in reference to the attached letter addressed to our Gavin Priestley regarding a proposed boat ramp at Darlington Point, Public Works Advisory is not in a position to comment on Council's development under the EP&A Act. Should this letter be addressed NSW Fisheries instead? Please feel free to contact me if I can be of any assistance.

Regards,

Matthew Lai
Project Manager
Riverina Western Region

NSW Public Works Advisory | Department of Finance, Services and Innovation
p 02 6938 2882 | 0408 379 978
e matthew.lai@finance.nsw.gov.au | www.publicworks.nsw.gov.au
4-6 Coleman Street, Wagga Wagga NSW 2650



Matt Johnson

From: Matt Johnson
Sent: Wednesday, 10 October 2018 11:13 AM
To: 'John Gilding'
Cc: Andrew Fisher
Subject: RE: Proposed Darlington Point Boat Ramp

Hi John,

Thank you for getting back to me, I really appreciate it.

Based on your comments, I will follow up with council to get them to confirm the level of disturbance or works that were previously undertaken.

Thanks again,
Matt

Matt Johnson Senior Planner



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TOWN PLANNING + URBAN DESIGN CONSULTANTS

From: John Gilding [mailto:John.Gilding@environment.nsw.gov.au]
Sent: Wednesday, 10 October 2018 10:23 AM
To: Matt Johnson
Cc: Andrew Fisher
Subject: RE: Proposed Darlington Point Boat Ramp

Hi Matt,

Following on from our chat yesterday, the preceding email, and the Due Diligence (DD) document you provided (Rich River Irrigation 2018), it is understood that Murrumbidgee Council is proposing to construct recreational and access infrastructure on the Murrumbidgee River at Darlington Point. Construction would include:

1. a boat ramp
2. paved access road
3. car parking and trailer turnaround
4. a walkway
5. Drainage pipes
6. Barrier fence
7. a pontoon
8. retaining walls and riveting/armouring of banks

The activities will result in significant sedimentary disturbance including clearing of some trees.

The DD recognises that the activity will occur within a landscape feature with an increased probability of containing relics of Aboriginal occupation – being a riverine environment (page 12). A search of AHIMS reflects this, with the area having a fairly large number of previously recorded sites (screenshot below). The nearest to the activity area being a scar tree (Darlington Point STP-3). This is not to say that there is not further ACH values present, this simply reflects what has been observed and registered in the past. It should also be acknowledged that scar trees are the

predominant previously recorded site type in the area, and that this is reflective of the fact that these tend to be the most easily observable objects within the landscape; smaller relics of aboriginal occupation (i.e. stone artefacts) tend to have lower relative proportions recorded in some areas due to difficulty in identifying them – it does not however mean they, and other site types may not be present within the activity area (including as previously undisturbed sub-surface deposits).

Feature Type	Recorded Date	Importance	Number of Feature	Entered By
Modified Tree (Carved or Scared)	24/01/2013	Not Determined	1	Maree Genna

So, it is established that the activity will cause sedimentary disturbance and is within an area likely to contain Aboriginal Cultural Heritage (ACH). Two of the triggers for undertaking a formal detailed archaeological assessment. There is however, the prior significant ground disturbance clause within the NPW Regs, which provides an exemption if there has been prior ground disturbance which has made a clear and discernible modification to the earth's surface. It is this qualification which the DD cites as exempting the activity from requiring further assessment, due to previous disturbance associated with construction of a levee.

This may be a reasonable and appropriate conclusion. Not being familiar with the activity location, and having not examined it, I cannot say with any authority if the location would qualify for this exemption or not; however, if it is provable that disturbance has occurred then the conclusion of the DD would be appropriate.

It is important to bring to your attention, that – from my experience - most activities of this nature within the region tend to do a complete formal investigation and not be reliant on a DD (which tends to be more a feasibility study and only used as a stand-alone planning and approvals document for lower risk projects). It should also be recognised that a formal investigation undertaken by someone suitably qualified (an archaeologist), provides more surety and a greater degree of protection from litigation.

My best advice would be that if you can provide clear and unambiguous evidence to support the prior significant ground disturbance exemption, then you should proceed with caution as per the DD. If however, the evidence to support prior significant ground disturbance cannot be ascertained, or is marginal, then probably best to undertake a more detailed assessment as per requirements under the NP&W Act 1974 and NPW Regs 2009.

It should be noted that the advice provided, based on information contained in the DD, does not qualify as a detailed review of that document, nor does it confer endorsement, or otherwise of the document by OEH.

Hopefully this email has assisted yourself and Murrumbidgee Shire Council. Should you require further information regarding this, or any other ACH planning and approvals matter, please do not hesitate to contact either Andrew – TL Planning (cc this message) – or myself.

Cheers

JG



**Office of
Environment
& Heritage**

John Gilding

Archaeologist
South West Branch
Conservation & Regional
Delivery Division

T 03 5483 9118

M 0428 897 811

F 03 5480 2131

www.environment.nsw.gov.au

From: Matt Johnson <Matt@habitatplanning.com.au>
Sent: Tuesday, 9 October 2018 4:59 PM
To: John Gilding <John.Gilding@environment.nsw.gov.au>
Subject: Proposed Darlington Point Boat Ramp

Hi John,

Thank you for your time on the phone this afternoon, I really appreciate the opportunity to discuss the proposed Darlington Point boat ramp.

From our discussions, the property is located within 200m of a landscape feature and the main question appears to be around the level of 'disturbance' that has previously occurred on-site.

Without having inspected the site yet and given the size of the development footprint (including associated access ways, boat parking areas etc), from my understanding of our discussion, Council will need to demonstrate that these areas have previously been disturbed in order to avoid doing any further more detailed assessments (ACHAR, AHIP).

When you get a chance, could you please send me a brief overview of discussion and the relevant criteria in order to satisfy the due diligence requirements?

If you have any questions, please do not hesitate to contact me.

Kind regards,

Matt Johnson Senior Planner



habitat planning

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This email is intended for the addressee(s) named and may contain confidential and/or privileged information.

If you are not the intended recipient, please notify the sender and then delete it immediately.

Any views expressed in this email are those of the individual sender except where the sender expressly and with authority states them to be the views of the NSW Office of Environment and Heritage.

PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING THIS EMAIL

Your Ref: DA30-18/19

Our Ref: IDA19/28

Date: 13 May 2019

The General Manager
Murrumbidgee Shire Council
PO Box 5
DARLINGTON POINT NSW 2706

Attention: Susan Appleyard

Dear Ms Appleyard,

Re: DA30-18/19 Referral for public boat ramp, floating pontoon walkway and associated infrastructure, Murrumbidgee River, Stock Street, Darlington Point Lot 7312 DP 1159328, Lot 7008 DP 1021217 and Lot 5 DP 804882.

Thank you for referring the above proposal to DPI Fisheries for comment. I understand that the applicant wishes to undertake construction of a public boat ramp with a 30.0m pontoon walkway at the above location.

DPI Fisheries is responsible for ensuring that fish populations including threatened species are conserved and that there is "no net loss" of key fish habitats upon which they depend. To achieve this, the Department ensures that developments comply with the requirements of the *Fisheries Management Act 1994* (namely the aquatic habitat protection and threatened species conservation provisions in Parts 7 and 7A of the Act respectively) and the associated *Policy and Guidelines for Aquatic Habitat Management and Fish Conservation (1999)*. In addition the Department is responsible for ensuring the sustainable management of commercial and recreational fishing and aquaculture within NSW.

The information has been reviewed and I am pleased to advise that DPI Fisheries does not object to Council granting Development Consent to the proposal **provided the conditions listed below (or similar conditions that impose the same requirements) are incorporated into the Development Consent.**

I do not consider that the works are likely to have a significant adverse impact upon threatened fish species, populations or the aquatic ecological community which reside in the river in this area provided the works are carried out as stated and all conditions are faithfully implemented.

Conditions:

1. The applicants will need to obtain a permit under the *Fisheries Management Act* or the *Water Management Act* if there is to be any excavation within, or filling of the waterway.
2. If any ground disturbance is to take place, erosion and sediment mitigation devices are to be erected in a manner consistent with currently accepted Best Management Practice (ie Managing Urban Stormwater: Soils and Construction 4th Edition Landcom, 2004) to prevent the entry of sediment into the waterway prior to any earthworks being undertaken. These are to be maintained in good working order for the whole duration of the works and subsequently until the site has been stabilised and the risk of erosion and sediment movement from the site is minimal. Exposed soil is to be reseeded or turfed. *Reason – To ensure that sediment generated by the exposure of soil is not transported into the main water body.*
3. On completion of the works, the site is to be rehabilitated and stabilised. Surplus construction materials and temporary structures (other than silt fences and other erosion and sediment control devices) installed during the course of the works are to be removed. *Reason – To ensure that habitats are restored as quickly as possible, public safety is not compromised and aesthetic values are not degraded.*
4. Machinery is not to enter, or work from the waterway unnecessarily. *Reason – To ensure minimal risk of water pollution from oil or petroleum products and to minimise disturbance to the streambed substrate.*
5. No snags (tree trunks, root balls, limbs, branches or other woody debris) in the channel or on the bank of the river are to be moved, removed or otherwise interfered with either during the construction phase or at any time subsequently, without the concurrence of Department of Primary Industries Fisheries. *Reason - "Removal of Large Woody Debris" is listed as a Key Threatening Process under the provisions of the Fisheries Management Act 1994 and there are significant penalties for harming the habitat of threatened species.*
6. Native vegetation (including trees such as River Red Gum, Black Box and River Coobah, shrubs, reeds such as Phragmites and grasses) on or adjacent to the river bank is not to be cleared, modified or otherwise harmed at any time during the construction or at any time subsequently. This does not include control of noxious or other recognised weeds. *Reason – "Decline in native riparian vegetation" is listed as a Key Threatening Process under the provisions of the Fisheries Management Act 1994 and there are significant penalties for harming the habitat of threatened species.*
7. The District Fisheries Officer at Deniliquin (Telephone: 02 6051 7763, Mobile: 0419 185 548, Email: david.potter@industry.nsw.gov.au) is to be notified at least 3 days prior to the commencement of construction (email or fax preferred). *Reason - To ensure that the local Fisheries Officer is aware that work on the river bank is about to commence.*
8. NSW Department of Primary Industries Fisheries is to be notified immediately if any fish kills occur in the vicinity of the works. In such a case all works are to cease until the issue is rectified and approval is given to proceed. *Reason –Department of Primary Industries Fisheries needs to be aware of fish kills so that it can assess the cause and mitigate further incidents in consultation with relevant authorities. They are also potentially contentious incidents from the public perspective. Work practices may need to be modified to reduce the impacts upon the aquatic environment.*

Could you please provide a copy of the Development Consent (if granted) for our records.

If you have any queries please call me.

Yours sincerely

A handwritten signature in black ink, appearing to read "Nathan Reynoldson".

Nathan Reynoldson
A/Fisheries Manager (Albury)
NSW Department of Primary Industries



**Natural Resources
Access Regulator**

Contact: Jane Taylor
Phone: 03 5881 9939
Email: jane.taylor@nrar.nsw.gov.au

The General Manager
Murrumbidgee Council
PO Box 5
Darlington Point NSW 2706

Our ref: IDAS1113840
Our file:
Your ref: 30/18/19

Attention: Susan Appleyard

8 July 2019

Dear Ms Appleyard

**Re: Integrated Development – for controlled activity described as: Public Boat Ramp
Located at: Darlington Point**

Natural Resources Access Regulator (NRAR) has reviewed documents for the above development application and considers that, for the purposes of the *Water Management Act 2000* (WM Act), a controlled activity approval is not required and no further assessment by this agency is necessary.

Council is exempt under clause 41 of the Water Management (General) Regulation, but is not exempt from clause 40 which requires the council to comply with all applicable requirements, either published in the Government Gazette, or notified in writing to the person. See Attachment A for further detail on the applicable exemptions.

Council is to be made aware however that the proposal does not meet NRAR's guidelines for instream works and has the possibility to cause erosion and damage to the waterfront land and the alignment of the watercourse. If environmental damage does occur NRAR may undertake compliance action which could take the form of remediation works in the future.

The current alignment of the boat ramp indicates that the ramp is located so that water can push up along the ramp rather than back up onto the ramp. The concrete configuration is also unsuitable for the site. The location of the ramp on the outside bend is likely to lead to erosion which may result in the stream being realigned. It is recommended further consideration be given to the location and construction design to address these aspects. I have attached our guidelines for your information.

Should the proposed development be varied in any way that results in development extending onto land that is waterfront land, or encompassing works that are defined as controlled activities, then NRAR should be notified.

Further information on controlled activity approvals under the WM Act can be obtained from NRAR's website: www.industry.nsw.gov.au/water. Go to Licensing and trade > Approvals > Controlled activities.

Please direct any questions regarding this correspondence to Jane Taylor by email to jane.taylor@nrar.nsw.gov.au.

Yours Sincerely

A handwritten signature in blue ink, appearing to read 'T. Baker', with a long horizontal flourish extending to the right.

Tim Baker
Senior Water Regulation Officer
Natural Resources Access Regulator

Water Management (General) Regulation 2018

Subdivision 4 – Exemption from requirement for controlled activity approval.

40 Condition applying to all exemptions under this Subdivision

An exemption conferred under this Subdivision is subject to the condition that the person by whom the relevant controlled activity is carried out must comply with applicable requirements (if any) of the Minister that are published in the Gazette, or notified in writing to the person, for the purposes of this clause and that are for the protection of:

- (a) the waterfront land on which the activity is carried out, or
- (b) any river, lake or estuary to which that land has frontage.

41 Controlled activities—public authorities

A public authority is exempt from section 91E (1) of the Act in relation to all controlled activities that it carries out in, on or under waterfront land.

CONTROLLED ACTIVITIES ON WATERFRONT LAND

Guidelines for instream works on waterfront land

These guidelines relate to the design and construction of works within a watercourse or on waterfront land. Instream works include modifications or enhancements to the watercourse, channel realignment, bed control structures, pipe laying and cable trenching etc.

Instream works are regulated by the controlled activity provisions of the *Water Management Act 2000* (WM Act). The NSW Office of Water administers the WM Act and is required to assess the impact of any proposed controlled activity to ensure that no more than minimal harm will be done to waterfront land as a consequence of carrying out the controlled activity.

Waterfront land includes the bed and bank of any river, lake or estuary and all land within 40 metres of the highest bank of the river, lake or estuary.

This means that a controlled activity approval must be obtained from the NSW Office of Water before commencing the controlled activity.

What are the aims and objectives for instream works?

The design and construction of works or activities within a watercourse or adjoining waterfront land should protect and enhance water flow, water quality, stream ecology and existing riparian vegetation. Impacts on the hydrologic, hydraulic and geomorphic functions of a watercourse should also be minimised.

Consultation with relevant government agencies at the concept stage of development and during the design phase is recommended so that good outcomes can be identified, planned for and achieved.

The design and construction footprint and the extent of disturbances within waterfront land should be minimised.

Asset protection zones and all ancillary infrastructure such as utility easements, detention basins and water quality control structures, roads, paths/cycle ways, should be located outside the riparian corridor or in accordance with the NSW Office of Water guidelines for riparian corridors which may allow some works to be located within the outer 50 per cent of the vegetated riparian zone

All waterfront land disturbed by the construction or installation of a controlled activity should be rehabilitated in such a way that the integrity of the watercourse and its riparian corridor is restored or rehabilitated.

What should be considered?

The design and construction of instream works should consider, but not be limited to, the following:

- Identify the width of the riparian corridor in accordance with the NSW Office of Water guidelines for riparian corridors.
- Consider the full width of the riparian corridor and its functions in the design and construction of any instream works. Where possible, the design should accommodate fully structured native vegetation.
- Identify alternative options and detail the reasons for selecting the preferred option/s.
- Minimise the design and construction footprint and proposed extent of disturbances to soil and vegetation within watercourse or waterfront land.
- Maintain or mimic existing or natural hydraulic, hydrologic, geomorphic and ecological functions of the watercourse. Demonstrate the instream works will not have a detrimental impact on these functions.

- Maintain the natural geomorphic processes.
 - Accommodate natural watercourse functions.
 - Establish natural bed and bank profiles, for example meanders, chain of ponds, surface water pools and riffles and bed controls.
 - Allow for the movement of sediment and woody debris.
 - Prevent increased scour and erosion of the watercourse bed or banks in any storm events.
 - Avoid locating works or structures on bends in the channel unless they are structures to restore stability.
 - Address existing bed degradation to protect structures and restore channel and bed stability.
- Maintain the natural hydrological regimes.
 - Accommodate site hydrological conditions, for example maintain low flows.
 - Do not alter natural bank full or floodplain flows. Modifications to watercourses should be based on roughness coefficients that represent the 'natural' state including fully structured mature riparian vegetation.
 - Do not change the gradient of the bed except to address existing bed and bank degradation.
 - Do not increase velocities by constricting flows.
- Protect against scour by designing and providing necessary scour protection, for example, rock rip-rap and vegetation.
- Stabilise and rehabilitate all disturbed areas including topsoiling, revegetation, mulching, weed control and maintenance in order to adequately restore the integrity of the riparian corridor.
- Monitor and maintain all in-stream works until suitably stabilised.

What information should be submitted for assessment?

When seeking approval to construct instream works, the NSW Office of Water will rely on the above information to undertake its assessment and to determine if the activity should be approved. All instream works/activities should be designed and certified by suitably qualified persons.

The following additional information will also be required:

- Detailed design drawings of proposed works (engineering certification may also be required).
- Detailed design drawings which include a surveyed plan, cross sections (across the watercourse) and a long section of the watercourse, showing the proposed works relative to existing and proposed bed and bank profiles and water levels. The cross section should extend to the landward limit of the identified riparian corridor. All plans must include a scale bar.
- Detailed report of pre and post construction hydraulic conditions. The report should address bank full discharge, velocity, tractive force or sheer stress, afflux (Modified RTA method is acceptable), Froude and Manning's 'n' roughness values, relative to the proposed structure.
- Detailed plans of permanent bed and bank stabilisation works for scour protection.
- Photographs of the site. To assist with future monitoring and reporting, all photo points should be identified by GPS coordinates or by survey - particularly for large scale earthworks or extractive industries.
- A vegetation management plan prepared in accordance with NSW Office of Water guidelines for vegetation management plans.
- Sediment and erosion control plan.
- A site management plan incorporating a works schedule, sequence and duration of works, contingencies (in case of flood or similar), erosion and sediment controls and proposed monitoring and reporting periods.
- Costing of all works (materials, labour) and stages of works (channel stabilisation, rehabilitation).
- Copies of other relevant approvals, for example land owner's consent or development consent.

Will a maintenance period be necessary?

Applicants will also need to provide for a maintenance period of between three and five years after practical completion of each stage, or until the site is stable. The maintenance period will depend on the scope, size and level of risk. Engineering certification may be required at the end of the maintenance period.

Maintenance includes sediment and erosion control; the replacement of any works, vegetation or areas damaged or destroyed by flows and flooding or vandalism; and any other requirements necessary to ensure a naturalised stable watercourse system is functioning by the end of the maintenance period.

Maintenance should include sediment and erosion control, replacement of any works/areas damaged or destroyed by flows and flooding or vandalism, and any other requirements necessary to ensure a naturalised stable watercourse system is functioning by the end of the maintenance period.

Will a security deposit be required ?

Applicants should note that if the likelihood of significant impact on the watercourse or waterfront land is identified, security (as bank guarantees) may be required before the controlled activity is commenced. The amount of security is usually based on the costings provided.

Where do I go for additional information?

Find out more about controlled activities at the Office of Water website www.water.nsw.gov.au.

Contact us

Contact a water regulatory officer as listed on the Office of Water website www.water.nsw.gov.au, free call the licensing information on 1800 353 104 or email information@water.nsw.gov.au.

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Disclaimer: The information contained in this publication is based on knowledge and understanding at the time of writing (June 2012). However, because of advances in knowledge, users are reminded of the need to ensure that information upon which they rely is up to date and to check currency of the information with the appropriate officer of the Department of Primary Industries or the user's independent adviser.

Published by the Department of Primary Industries, a division of NSW Department of Trade and Investment, Regional Infrastructure and Services.

NOW 12_136_b

Matt Johnson

From: Peter Beal <peter.beal@lls.nsw.gov.au>
Sent: Friday, 9 November 2018 1:10 PM
To: susiel@murrumbidgee.nsw.gov.au
Cc: Matt Johnson; James Gillespie; Andrew Lieschke
Subject: Re: Proposed Darlington Point Boat Ramp DA
Attachments: image001.png; MurrumbidgeeSignature_5cc52219-9e83-4450-9df1-a26a429780b6.jpg

Hi Susie,

Thanks for your request pertaining the Boat Ramp proposal on lands being Lot 7008 DP 1021217, Reserve 42796.

In relation to this proposal I have provided some advice to Matt...

This advice on the requirements that Local Land Services has is as follows:

Local Land Services would have no objection to the boat ramp development proposal providing that:

- LLS would not be responsible or will incur costs associated to keeping the boat ramp site tidy and safe.
- Activities associated to the use of the boat ramp must not impede or restrict the movement, refuge and safety of livestock should they be utilising the reserve.
- Access for stock to water from the river is maintained.
- Public access to the river and other areas in the reserve is maintained.
- That other permitted uses of the reserve are not adversely impacted or denied.
- Camping on the reserve is not permitted and hence should not be encouraged by the establishment of elaborate facilities. eg. Shelters, Toilets/Showers and Lawn/grassed areas.
- Should there be a need to alter the use of the site, that Riverina LLS is informed in advance.
- Riverina LLS is indemnified from all responsibility regarding the cost of establishment, installation, maintenance and operations of the boat ramp.
- The access tracks to the boat ramp and in the reserve are not altered or expanded without consent.
- The access tracks and network are maintained to allow for normal trafficability.
- No native vegetation is to be removed in the Reserve unless there is a public safety risk clearly identified from a risk assessment undertaken by stakeholders such as Murrumbidgee Council, LLS or the Department of Industry Lands & Water.

I trust these conditions could be accommodated in such a development occurring in sharing the use of the Crown Reserve.

Regards

Peter

Peter Beal |
Team Leader, TSRs
Local Land Services (Riverina)
Riverina Local Land Services
Griffith RLLS Office, 200 Murray Road., Griffith NSW 2680 (Tues - Thurs) Ph 69601313
&
Narrandera RLLS Office, 8 Bolton Street, PO Box 11 Narrandera NSW 2700
(Mon & Fri)
☎ 02 69581808 | Mobile: 0428 968249
Email: peter.beal@lls.nsw.gov.au
Web: www.lls.nsw.gov.au/riverina t: 1300 795 299



DOC19/124618-2

The General Manager
Murrumbidgee Council
PO Box 96
JERILDERIE NSW 2716

By email: jerilderie@murrumbidgee.nsw.gov.au

Dear Mr Scarce

Re Development Application No. DA30-18/19

I refer to the letter dated 7 February 2019 from your Susan Appleyard seeking comment on Development Application No DA30-18/19 for the construction of a public boat ramp, floating pontoon walkway and associated infrastructure at Lot 7312 in DP 1159328 Stock Street, Darlington Point.

The EPA has responsibilities for pollution control and environmental management for scheduled activities under the *Protection of the Environment Operations Act 1997* (POEO Act). Based on the information provided the proposed activity is not scheduled under the POEO Act and the proposed works do not require an Environment Protection Licence.

However, given the proposed activity is being undertaken by Murrumbidgee Council, the EPA will be the appropriate regulatory authority for matters relating to the POEO Act for this development.

We have reviewed the Statement of Environmental Effects supporting the application and noted that the potential environmental impacts associated with the project have been adequately addressed. Council should be aware that under section 120 of the POEO Act it is an offence to pollute waters.

Should the development consent be granted, we recommend the following conditions are included as conditions of consent.

- The proponent should take all necessary precautions and implement measures to prevent pollution of waterways during the proposed works; and
- Prior to the commencement of works, the successful tenderer must provide an Erosion Control Plan that (a) adequately addresses and manages sediment control measures during the construction and rehabilitation period and (b) is in line with control measures identified in the associated Statement of Environmental Effects.

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(from outside NSW)

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riverina.farwest@epa.nsw.gov.au

If you have any further enquiries about this matter please contact me by telephoning 02 6969 0700 or by electronic mail at riverina.farwest@epa.nsw.gov.au.

Yours sincerely

A handwritten signature in dark ink, appearing to read 'D Wallett', with a stylized flourish at the end.

18 March 2019

DARREN WALLETT
Head Regional Operations Unit – Riverina Far West Region
Environment Protection Authority

The General Manager
Murrumbidgee Council
21 Carrington St
Darlington Point
NSW 2706

Please find enclosed my submission with regard to DA 30-18/19

Proposed Boat Ramp, Floating pontoon Walkway and associated infrastructure

LOT 7312, 7008—DP 1159328, 1021217, 804882

I am writing this submission to OBJECT to the proposed development as follows

With regard to point 1.5.7.1

This development does not comply with the statement in the document

“ To ensure development is compatible with the flood hazard and riparian corridor of the Murrumbidgee River “

With regard to point 1.5.7.2

2.1 The existing boat ramp adequately catered for the fishing competition in February 2019 enabling about 50 boats to be launched daily and the cars and trailers parked. Yes the boat ramp on the eastern side of the river does require maintenance and an upgrade at a significantly less cost to rate payers than this proposal

2.3 Access Road

This comment is incorrect as the TENDER has already been awarded. This unsealed road will wash away with run off from the levee and natural rain

3.3.5 Threatened Fauna

There are as stated 18 records of threatened Fauna, 23 Birds, 1 Frog and 3 fish and 4 mammals. There will be the removal of 8 Red GUM and various other vegetation

This will severely impact on the threatened species

3.4.1.2 Flooding

A 2012 flood level identified in the appended flood study undertaken by Cardno December 2017 identifies the 1% AEP height at Darlington Point was 125.55 AHD. The natural surface levels at the project site are 122.00m AHD at the top of the proposed boat ramp, car park and turning circle and 123.00 AHD at the commencement of the access road. THIS ESTABLISHES THAT THE SITE IS WITHIN A FLOOD PRONE AREA.

The General Manager
Murrumbidgee Council
21 Carrington St
Darlington Point
NSW 2706

Please find enclosed my submission with regard to DA 30-18/19
Proposed Boat Ramp, Floating pontoon Walkway and associated infrastructure
LOT 7312, 7008—DP 1159328, 1021217, 804882

I am writing this submission to OBJECT to the proposed development as follows

With regard to point 1.5.7.1

This development does not comply with the statement in the document

“ To ensure development is compatible with the flood hazard and riparian corridor of the Murrumbidgee River “

With regard to point 1.5.7.2

2.1 The existing boat ramp adequately catered for the fishing competition in February 2019 enabling about 50 boats to be launched daily and the cars and trailers parked. Yes the boat ramp on the eastern side of the river does require maintenance and an upgrade at a significantly less cost to rate payers than this proposal

2.3 Access Road

This comment is incorrect as the TENDER has already been awarded. This unsealed road will wash away with run off from the levee and natural rain

3.3.5 Threatened Fauna

There are as stated 18 records of threatened Fauna, 23 Birds, 1 Frog and 3 fish and 4 mammals. There will be the removal of 8 Red GUM and various other vegetation

This will severely impact on the threatened species

3.4.1.2 Flooding

A 2012 flood level identified in the appended flood study undertaken by Cardno December 2017 identifies the 1% AEP height at Darlington Point was 125.55 AHD. The natural surface levels at the project site are 122.00mAHD at the top of the proposed boat ramp, car park and turning circle and 123.00 AHD at the commencement of the access road. THIS ESTABLISHES THAT THE SITE IS WITHIN A FLOOD PRONE AREA.

3.4.2.2

The appended FLOOD ASSESMENT identifies that the 1 % flood level is 2.75 Metres above the proposed finished height of the top of the ramp and car park

3.4.4 Conclusion

The investigation showed that the area where the proposed boat ramp is to be located is significantly inundated in the design events as it is located outside the Darlington Point levee

ENVIRONMENTAL RIVER FLOWS

Depth for these events are 5 Metres and OVER in depth at Darlington Point. This will put the structure almost 1 metre under water

3.8.1

This statement is incorrect

“The proposed project works are currently advertised for tender”

The tender has been awarded

3.9.2 3.9.4

There will be view and acoustic issues

There will be loss of aesthetic views by local residents

SUPPORTING COMMENTS FOR THIS SUBMISSION

I believe that the tender process was flawed and would not align with NSW LG best practice

The proposed boat ramp is to be constructed over an existing nature trail and walk way

Consultation has been very minimal within the community

This is a \$ 1.2 million dollar project to be constructed in a natural flood plain

At what maintenance cost to Murrumbidgee Council Rate Payers? –There is no documentation reference to this

Removal of the floating pontoons and walkway?? It states at high water, WHAT height is this? WHAT type of equipment will be required and at WHAT cost to the RATE PAYER OF MURRUMBIDGEE COUNCIL

Will the Council owned (rate payer) Asset (\$ 1,200,000.00) be able to be insured?

Has there been a cost benefit ratio analysis conducted on this proposed project

Council always talks about the benefits and disadvantages’

Where is the triple bottom line, quadruple bottom line analysis?

As seen in the attached diagram this proposed project undermines the levee by cutting into the toe of the levee and In reference to the existing drain to be filled through this section. This is NOT A DRAIN it is a very significant water way to fill the lagoon area, lower the flood height and allow water back into the river

At a 3 metre river the proposed structures will be severely impacted by water flow

Environmental flows come though the river at 5 metre and above in height severely impacting the structures and operation of the proposed boat ramp

Emergency services will not be able to access this proposed structure in a high river

KARemamiel.

Kimberly Demamiel

3 Banksia Court

Darlington Point .

NSW 2706.

5/2/2019

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Phillip Wells

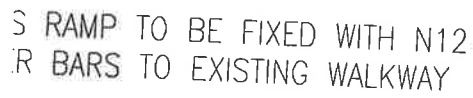
A handwritten signature in black ink, appearing to read 'P Wells'.

36 Carrington St

Darlington Point

NSW 2706

05.03.2019



PROPOSED 30
LONG PONTON

ROCK
ARMOUR

DISABILITY ACCESS RAMP
lick with SL81 mesh

RAMP SECTION 1

RAMP SECTION 2

~~RAMP SECTION 3~~

RETAINING
WALL

Water Level

CH 37.76 -

OF LEVEE BANK 126.84

PROPOSED POST
AND RAIL FENCE

~~600 x 600 D~~

SNB 2

POST-
FENCE

B 119.80

PROPOSED DRAIN TO BE CUT THROUGH THIS SECTION. BED WIDTH 1.0m/BATTERS 2H:1V

150mm THICK, REINFORCED CONCRETE
WITH SL81 CENTRALLY PLACED

EXISTING DRAIN TO BE FILLED
THROUGH THIS SECTION

SCATTERED TREES

SCALE
HORIZONTAL
VERTICAL

RICH RIVER IRRIGATION DEVELOPMENTS
UNIT 1, 164 OGLIVE AVENUE, ECHUCA 3564
Telephone (03) 5482 2584 Fax (03) 5482 1918

MURRUMBIDGEE SHIRE COUNCIL / APEX CLUB
PROPOSED DARLINGTON POINT BOAT RAMP
RAMP CROSS - SECTIONS

TITLE: DARLINGTON POINT BOAT RAMP
DESCRIPTION: RAMP CROSS-SECTIONS (1:200)

SIZE

SHEET NUMBER
06 OF 12

DRAWING NUMBER
2016-107

3

SUBMISSION RE INTEGRATED DEVELOPMENT APPLICATION No. DA30-18/19

Public Boat Ramp, Floating Pontoon Walkway and Associated Infrastructure.

Mr John Stace,

2 Stock St Darlington Point NSW

General Manager,

5th March 2019

Murrumbidgee Shire.

Dear Sir,

I have viewed the documentation regarding this proposed development at the Council Offices in Darlington Point. And have also accessed them online.

I have spoken with several other residents in the street and others in the DPT ward. I have come to the conclusion that I oppose the proposal from my consideration of many factors in the project.

1. We already have a serviceable boat ramp on a site that is very accessible to boat ramp users, with adequate parking and good quiet access via the Caravan Park road. Plus this site has a good nearby beach available for boat ramp users and their families to picnic or whatever. There is plenty of parking area for vehicles and their trailers.

I have heard over the years that there are complaints about the current boat ramp not being suitable as there tend to be silting problems and also that the river current makes launching and docking more tricky at times. However there are other fishermen whom I have spoken with who say there is nothing wrong with the current ramp. It is a matter of skills in reading the river and knowing when to launch and when not to. I have also been told that the new site will be just as affected by silting and river current as the present site. Things will be no different.

So why the incredible outlay and expense (over \$1million of council money) on this new proposed boat ramp, when some other remedial work could be done to improve the safe and improved use of the current boat ramp on the north side of the river.

I have heard that a new ramp on the south side would bring tourism money into the township. I fail utterly to see the logic of such an argument, as

fishermen will stop for a coffee or soft drink or ale if they are thirsty, no matter which side the boat ramp is on, if they are so inclined.

2. I object in the strongest possible terms to the proposal of the floating pontoon walkway. This walkway will be out over the water and will just be an accident waiting to happen. The life of some young “non-thinking” teenager or pre-teenager will be lost, when he or she is skylarking with his or her mates on the pontoon walkway and they fall overboard. If the person is under the influence of drugs or alcohol the scenario becomes even more serious. The council will be held responsible for any such death or accident. There will be no policing of the site as it tucked away on the hidden side of the levee bank to the public view. Even screaming will go unheard.

Over 5 years ago there was a drowning in the river only 40 metres downstream from the spot where the new proposed ramp is to be built. The drowning happened when a newcomer to the river stepped off the sand bar by mistake on the north-east side of the river (on the beach between the old boat ramp and the corner opposite the new site). The person drowned because he was grabbed by the swift current and was dragged under. He was eventually found lodged between logs jammed against one of the bridge pylons. The alarm was raised immediately the person disappeared, but to no avail. The current was so strong and quick that there was no hope of finding the person. No one was able to go into the river to try to save the person as they too were in fear of the swift and dangerous current.

One of the reasons that the new levee was recently strengthened and upgraded was because of the dangerous currents at that particular point coming around the corner. The corner takes the full force of the current, especially at times of flood or even just high level river volumes.

I have been told that when the river floods above a certain height, then the pontoon has to be moved. On whose onus does this fall? Presumably it will be the Council rather than the proponents of the boat ramp. At whose cost will this removal of the pontoon and later its re-siting after the flood river recedes fall? Again I presume it will be the ratepayers of the Council. To me these two considerations spell out clearly that the pontoon walkway is a no brainer.

3. Considering the infrastructure work that will take place to get the site and access for cars, utes and boat trailers to the ramp and then for parking facilities, I notice that the current new levee will be cut into at the point of turning onto the boat ramp. This amazes me that it is legal to do that work

given the amount of money that has recently been spent on building the levee to its present stable and ideal state. How can engineers now dismantle or disregard the standards that were required in the recent upgrade of levee construction? Has the impact on the strength of the levee been correctly considered by appropriate experts in the field.

4. Another infrastructure work that is questionable is the construction of a new drain on the eastern side of the current one, which is there to drain the flooded river water when the excess water from the river backs up – right up to fence lines on Jeff King’s farm land, the fence lines on the north of the property now owned by Margaret Gilbert’s family, and along the road near the Gum View Café and Darlington Point Club. This is quite an area of swamp land and contains a huge volume of water in the time of flood.

Filling in one drain, which currently adequately allows excess flood water to run back to the river, with another one further east raises the question as to whether the impact of this change has been expertly examined. What will the current area which is swamp (east of the current drain) be filled in with? How will that impact the whole swamp area and its flora and fauna? How solid and stable will the new infill be? All this work to provide parking for vehicles and trailers, and possibly a picnic area (as per plan).

Again none of the above infrastructure work would be necessary if the old boat ramp with its good access facilities was upgraded.

5. Another infrastructure work is the access road on the plan that shows the access will be via the Cemetery Road. That means the traffic in will go up Cemetery Rd towards the Town Water Tower and truck water filling site, onto the Council rock and hard material dump section, turn left along the top of the levee for about 100 metres and then turn right and go down the steep incline of the levee to then turn left and run parallel along the foot of the levee to the boat ramp.

However there is another road, Curphey Street, that joins the levee from the west, just where the “boat ramp road” goes down from the top of the levee to the lower level. How soon will it be that this second road, not the one that is the stated one in the plan as the access road, will be the one used by patrons? This road runs past the Darlington Point Swimming Pool, which could also be a danger to people (especially young children and teenagers) accessing the pool.

However the junction of the “three” roads on the top of the levee is where there is a sure risk of accidents occurring. A vehicle coming along Curphey Street and going up the levee section will not be able to see any vehicle coming up the levee road from the boat ramp road side (after departing the boat ramp area). The vehicles will be totally unsighted by one another and both will be accelerating to get up the steep incline to reach the top of the levee itself. One can only imagine the mess if both vehicles are towing boats!

6. Given all the above, I oppose the boat ramp proposal. Plus, the amount of money to be expended on it, blows my mind. Over \$1million! And that despite the fact that we already have a serviceable boat ramp with all the access, parking and picnic areas that are necessary. Surely this money could be spent on better projects within the Darlington Point Township. I can immediately think of the Goanna Walk along the river on the south side from the cemetery to the bridge and onto the Bunyip Hole. There is a need for a similar walk along the northern side of the river. Even the Caravan Park area could be upgraded and beautified.

Thank you for accepting this email and considering my proposals and objections.

Peter van Hees

Mobile 0448 430 824

From: Bruce <bg-s@bigpond.com>
Sent: Wednesday, 6 March 2019 4:44 PM
To: John Scarce <johns@murrumbidgee.nsw.gov.au>
Subject: Comments on Proposed DP Boat Ramp.

To Murrumbidgee Shire Councillors,

The plans appear to have been prepared well.

However the costs far exceed the need when we have a very workable boat ramp , large car park and lunching facilities on Council land adjacent to the bridge.

While acknowledging the increasing support for the Fishing Weekend (which uses the current concrete ramp), it is only a three day event .

From observation , there is no possibility of creating the boating and family beach tourist attraction similar to the successful Hay Boat and Tourist site.

We don't have a weir down stream to maintain a constant depth for power boating and Water skying.

The river at DP is total unsafe for skying, or power boating even in a high river due to submerged fallen trees.

The Hay facility has an extensive sandy beach enabling many groups of families and tourist to spread along 100 M of beach with cars parked immediately behind.

Where is the beach and safe swimming area in this proposal.

The current boat ramp at DP is in site distance to an excellent beach.

I wish to seriously question the justification of having to draw down large additional Shire funds to first pay the majority of the capital works and then commit the Shire to all future maintenance costs, especially the clean up after floods.

As the current site has excellent access ,requiring little improvement ,then surely the full grant money could be much better spent in expanding the current ramp and if feasible an upstream floating walkway and mooring facility.

The current site if \$ 500,000 was spent on it, attract far more tourists would be noticed by EVERYONE who drove over the bridge.

The proposed new site will attract little ambience , and is difficult to get to .

It's difficult access will have a negative effect on some residences (who presumable built or purchased those homes to enjoy the quietness and river views).

I would be concerned if on high rivers this new ramp becomes inoperable.

Until a down stream weir is built and a major clean up of snags and fallen trees ,then this proposal can NOT be justified just to launch small fishing boats.

Bruce Gowrie-Smith OAM

Sent from my iPad

COPY

RECEIVED 18 FEB 2019

Tianni Given

From: MoonShadowFarm <moonshadowfarm@tpg.com.au>
Sent: Sunday, February 17, 2019 6:43 PM
To: Mail
Subject: Proposed boat ramp.

0625 | DA 30-18/19
Susan
005401

The General Manager
Murrumbidgee Council

Dear Mr Scarce,

I am writing to thank you, for the information with regard to the proposed boat ramp, (DA 30-18/19), with relation to our property 4 Curphey Pl.

I feel that this proposal will be a positive benefit to the Point.

I would, however, like to make a suggestion that I would ask you to consider.

Back when Deborah and I were living at the Point I put a proposal to the then GM, Paul Goodsall, about the possibility of putting a gate across the drain so that when the lagoon flooded the water could be retained.

This lagoon stretches up past the golf club. The idea was to clean up the banks while the lagoon was empty and then seed it with native fish when it was full.

The result would be a delightful little tourist and local facility that could be enjoyed by all. At the end, of say 3 years, the lagoon could be vented into the Bidgee so releasing mature native fish that could survive the carp.

It would appear to be a win-win situation for all. The river, the environment and the village. I can personally attest to how pleasant it is canoeing on the lagoon and sharing with diver ducks and other native wild life.

Now that the drain is going to be adjusted to suit the ramp it would appear to be an ideal time to reconsider this proposal.

I would like to thank you for your consideration of this proposal and look forward to discussing it further.

Regards John & Deborah Westacott. (moonshadowfarm@tpg.com.au) Phone 0427318434.

PS It would be interesting to see how clear the lagoon becomes without the input from Mr Carp.

Draft Conditions of Development Consent

Development Application 30-18/19

General

1. The development shall take place in accordance with the plans, documentation and Statement of Environmental Effects submitted with the application receipted on 1/02/2019. A copy of these are held by Council as Plan No's. DA 30-18/19.

Reason: To clarify the extent of the consent.

2. Prior to commencement of any works the plant operator and/or principle contractor is to be provided with a copy of this consent and Plan No's. DA 30-18/19 and made fully aware of the provisions therein. A copy is to be held on site during works.

Reason: To ensure on site activity is in accordance with the conditions of consent.

3. A Construction Certificate is to be obtained from Council or an accredited Private Certifier to verify that if all building work is carried out in accordance with those endorsed detailed plans and specifications it will fully comply to all of the provisions of the Building Code of Australia (BCA).

Reason: This is a prescribed Condition of the Environmental Planning and Assessment Act and Associated Regulations

4. Any works that will impact upon the adjoining Darlington Point flood levee bank, including the construction of retaining walls shall be discussed and approved by the NSW Public Works Advisory.

Reason: This is to ensure that the proposed works will not undermine the adjoining Darlington Point flood levee.

5. The development is to ensure that as far as practicable the approved works will not result in the creation of erosion, scouring and bank instability issues. The boat ramp structure shall be periodically inspected and where necessary, remediation works shall be undertaken in consultation with the NSW Natural Resources Access Regulator.

Reason: This is to ensure that the proposed works will not cause environmental damage or water quality issues.

6. All Aboriginal places and objects are protected under the National Parks and Wildlife Act 1974. This protection extends to Aboriginal objects and places that have not been identified but might be unearthed during construction.

Should any historical archaeological sites be identified during any phase of the proposed development, all works must cease in the vicinity of the find and the NSW Office of Environment and Heritage shall be notified.

Reason: To ensure compliance with the National Parks and Wildlife Act 1974.

7. If any suspected human remains are discovered during any activity works, all activity in the vicinity must cease immediately. The remains must be left in place and protected from harm or damage. The following contingency plan describes the immediate actions that must be taken in instances where human remains or suspected human remains are discovered. Any such discovery at the activity area must follow these steps:

(a) Discovery: If suspected human remains are discovered all activity in the vicinity must stop to ensure minimal damage is caused to the remains; and the remains must be left in place, and protected from harm or damage.

(b) Notification: Once suspected human skeletal remains have been found, the Coroners Office and the NSW Police must be notified immediately. Following this, and if the human remains are likely to be Aboriginal in origin, the find will be reported to the Aboriginal parties and OEH NSW. If the find is likely to be non-Aboriginal in origin and more than 100 years in age, the Heritage Council of NSW will be notified of the find under s.146 of the Heritage Act 1977.

Reason: To ensure compliance with the National Parks and Wildlife Act 1974.

NSW Department of Industry (Crown Land and Water)

8. A licence must be obtained from the Department of Industry to construct on the Crown land and within the Crown waterway prior to works being undertaken.

Reason: To ensure compliance with the Crown Lands Act.

NSW Department of Primary Industry (Fisheries)

9. A permit shall be obtained under the *Fisheries Management Act* or the *Water Management Act* if there is to be any excavation within, or filling of the waterway.

Reason: To ensure compliance with the Fisheries Management Act and Water Management Acts.

10. If any ground disturbance is to take place, erosion and sediment mitigation devices are to be erected in a manner consistent with currently accepted Best

Management Practice (ie Managing Urban Stormwater: Soils and Construction 4th Edition Landcom, 2004) to prevent the entry of sediment into the waterway prior to any earthworks being undertaken. These are to be maintained in good working order for the whole duration of the works and subsequently until the site has been stabilised and the risk of erosion and sediment movement from the site is minimal. Exposed soil is to be reseeded or turfed.

Reason: To ensure that sediment generated by the exposure of soil is not transported into the main water body.

11. On completion of the works, the site is to be rehabilitated and stabilised. Surplus construction materials and temporary structures (other than silt fences and other erosion and sediment control devices) installed during the course of the works are to be removed.

Reason: To ensure that habitats are restored as quickly as possible, public safety is not compromised and aesthetic values are not degraded.

12. Machinery is not to enter, or work from the waterway unnecessarily.

Reason: To ensure minimal risk of water pollution from oil or petroleum products and to minimise disturbance to the streambed substrate.

13. No snags (tree trunks, root balls, limbs, branches or other woody debris) in the channel or on the bank of the river are to be moved, removed or otherwise interfered with either during the construction phase or at any time subsequently, without the concurrence of Department of Primary Industries Fisheries.

Reason: "Removal of Large Woody Debris" is listed as a Key Threatening Process under the provisions of the Fisheries Management Act 1994 and there are significant penalties for harming the habitat of threatened species.

14. Native vegetation (including trees such as River Red Gum, Black Box and River Coobah, shrubs, reeds such as Phragmites and grasses) on or adjacent to the river bank is not to be cleared, modified or otherwise harmed at any time during the construction or at any time subsequently. This does not include control of noxious or other recognised weeds.

Reason: "Decline in native riparian vegetation" is listed as a Key Threatening Process under the provisions of the Fisheries Management Act 1994 and there are significant penalties for harming the habitat of threatened species.

15. The District Fisheries Officer at Deniliquin (Telephone: 02 6051 7763, Mobile: 0419 185 548, Email: david.potter@industry.nsw.gov.au) is to be notified at least 3 days prior to the commencement of construction (email or fax preferred).

Reason: To ensure that the local Fisheries Officer is aware that work on the river bank is about to commence.

16. NSW Department of Primary Industries Fisheries is to be notified immediately if any fish kills occur in the vicinity of the works. In such a case all works are to cease until the issue is rectified and approval is given to proceed.

Reason: Department of Primary Industries Fisheries needs to be aware of fish kills so that it can assess the cause and mitigate further incidents in consultation with relevant authorities. They are also potentially contentious incidents from the public perspective. Work practices may need to be modified to reduce the impacts upon the aquatic environment.

NSW Local Land Services

17. Local Land Services are not responsible for and will not incur any costs associated to keeping the boat ramp site tidy and safe.

Reason: To clarify who is responsible for maintaining the proposed boat ramp.

18. Activities associated to the use of the boat ramp must not impede or restrict the movement, refuge and safety of livestock should they be utilising the reserve.

Reason: To clarify the impacts of the works on the movement of livestock.

19. Access for stock to water from the river is to be maintained.

Reason: To clarify the impacts of the works on livestock.

20. Public access to the river and other areas in the reserve is maintained.

Reason: To outline that public access must be maintained.

21. That other permitted uses of the reserve are not adversely impacted or denied.

Reason: To clarify that the operation of the site as a boat ramp does not prevent use by other permitted activities.

22. Camping on the reserve is not permitted and hence should not be encouraged by the establishment of elaborate facilities. eg. Shelters, Toilets/Showers and Lawn/grassed areas.

Reason: To clarify the extent of works and use of land.

23. Should there be a need to alter the use of the site, that Riverina LLS is informed in advance.

Reason: To clarify when additional approval is required.

24. Riverina Local Land Services is indemnified from all responsibility regarding the cost of establishment, installation, maintenance and operations of the boat ramp.

Reason: To clarify management and liability responsibility.

25. The access tracks to the boat ramp and in the reserve are not altered or expanded without consent.

Reason: To clarify when additional approval is required.

26. The access tracks and network are maintained to allow for normal trafficability.

Reason: To outline access requirements.

27. No native vegetation is to be removed in the Reserve unless there is a public safety risk clearly identified from a risk assessment undertaken by stakeholders such as Murrumbidgee Council, LLS or the Department of Industry Lands & Water.

Reason: To clarify when approval is required for the removal of native vegetation.

NSW Environment Protection Authority

28. The proponent should take all necessary precautions and implement measures to prevent pollution of waterways during the proposed works; and

Reason: To outline relevant pollution control measures.

29. Prior to the commencement of works, the successful tenderer must provide an Erosion Control Plan that (a) adequately addresses and manages sediment control measures during the construction and rehabilitation period and (b) is in line with control measures identified in the associated Statement of Environmental Effects.

Reason: To require additional environment protection measures prior to commencement of works.

Prior to the Issue of a Construction Certificate

30. Carpark Design
Car parking spaces, maneuvering areas and access driveways are to be sealed, drained, line marked, constructed and maintained to pavement designs prepared by a qualified engineer which are to be submitted to and approved by Council prior to release of the Construction Certificate.

Reason: To ensure that car parking provided on site is constructed to a standard commensurate with the type and levels of onsite vehicular use.

31. Landscaping Plan
Prior to the issue of a Construction Certificate, a landscaping plan is to be submitted to council for approval. This plan must ensure protection of threatened species and biodiversity

Reason: To ensure that an appropriate detailed landscape design is prepared in conjunction with the overall design of the proposed development.

32. Floodwater flow/no impediment of floodwaters
The proposed structure being designed and constructed so as not to impede the free flow of flood waters so as to ensure that other properties are not adversely affected by the development.
Reason: To ensure that the development will not create any flood hazards.
33. Soil and Water Management
Prior to issue of a Construction Certificate, a Soil and Water Management Plan is to be submitted to Council for approval. Two copies of the plan are to be provided. Once Council has approved the plan it will form a part of this Development Consent. The plan is to demonstrate the capacity of drainage infrastructure to service the development, treat and retard stormwater, and reduce any impacts on soil and water downstream of the proposed development.
Reason: To ensure that the development does not create issues of sediment and erosion run-off.
34. Flood Compatible Materials
All building materials used shall be flood compatible.
Reason: To ensure that the development can withstand the impacts of flooding.
35. Retaining Walls – qualified design
An appropriately qualified person shall design retaining walls or other approved methods necessary to prevent the movement of excavated or filled ground, together with associated stormwater drainage measures. Details are to be included with the plans and specifications to accompany any Construction Certificate, including consultation with the NSW Public Works Advisory.
Reason: To ensure that retaining walls are appropriately designed.

Prior to any works commencing on-site

36. The erection of the building the subject of this development consent MUST not be commenced until:
- (a) detailed plans/specifications of the building have been endorsed with a construction certificate by:
 - (i) the Council, or
 - (ii) an accredited certifier, and
 - (b) the person having the benefit of the development consent:
 - (i) has appointed a principal certifying authority, and
 - (ii) has notified the Council of the appointment, and
 - (c) the person having the benefit of the development consent must lodge a notice of commencement form with Council prior to commencement of work at least two day prior to commencing the erection of the building.

Reason: These are requirements of the Environmental Planning and Assessment Act and associated Regulations

37. A Construction Environmental Management Plan (CEMP) (inclusive of an Erosion and Sediment Control Plan) shall be prepared for the site outlining all environmental safeguards and mitigation measures to be adopted. The CEMP shall include as a minimum the following:

- Roles of specific staff;
- Reporting requirements;
- Monitoring requirements;
- Environmental targets and objectives;
- Auditing and review timetables;
- Emergency response requirements;
- Details of training and inductions required;
- Complaint response procedures;
- Adaptive management mechanisms to encourage continuous improvement.

A copy of this plan shall be submitted and approved by council prior to any works commencing on-site.

Reason: To ensure that appropriate management and mitigation measures are adopted prior to and during the construction phase of the project.

38. All plumbing and drainage work is to be carried out by a NSW Licensed Plumber and Drainer and to the requirements of the NSW Code of Practice, Plumbing and Drainage. The licensed plumber's details shall be forwarded to Council prior to commencement of any plumbing work.

Reason: To ensure that plumbing and drainage work is carried out by qualified professionals.

39. Access to site area via the dedicated road shall be trafficable in all weather conditions and provided with adequate sight lines to enhance traffic safety.

Reason: To ensure safe traffic movements.

40. No fill material is to be imported to the site without the prior approval of Council. No recycling of material for use as fill material is to be carried out on the site without the prior approval of Council. No filling is to be placed on the site that is likely to cause surface water flooding of any adjoining property.

Reason: To ensure that any fill material imported to the site is appropriate for its intended use.

During Construction

41. Inspections are to be conducted in accordance with the Environmental Planning & Assessment Act 1979 and Environmental Planning & Assessment Regulation 2000 and as required by the Principal Certifying Authority.

Reason: To ensure compliance with the requirements of the Environmental Planning & Assessment Act 1979 and Environmental Planning & Assessment Regulation 2000.

42. Building work shall not commence on the site before 7.00am Monday to Saturday and 8.00am on Sundays and cease by 8.00pm daily.

Reason: To ensure compliance with the requirements of the Protection of the Environment Operations Act 1997 and Regulations.

43. Work complying with the latest version of Australian Standard 2436 "Guide to Noise Control on Construction, Maintenance and Demolition Sites

Reason: To ensure that noise generated from the site complies with relevant noise policy requirements.

44. Stamped plans, specifications, a copy of the development consent, the Construction Certificate and any other Certificates to be relied upon is to be available on site at all times during construction.

Reason: To ensure that a copy of relevant approvals is available on site at all times.

45. The following details are to be placed on signs to be erected on the site:
- The name of the Principal Certifying Authority, their address and telephone number,
 - The name of the person in charge of the work site and telephone number at which that person may be contacted during work hours,
 - That unauthorised entry to the work site is prohibited,
 - The designated waste storage area must be covered when the site is unattended, and
 - All sediment and erosion control measures is to be fully maintained until completion of the construction phase. Signage but no more than 2 signs stating the above details are to be erected:
 - At the commencement of, and for the full length of the, construction works onsite, and
 - In a prominent position on the work site and in a manner that can be easily read by pedestrian traffic.

All construction signage is to be removed when the Occupation Certificate has been issued for the development, or all construction signage is to be removed on completion of earthworks or construction works and when a Compliance Certificate has been issued by the Principal Certifying Authority certifying that

the development has complied fully with the development consent and, where required, been constructed in accordance with the Construction Certificate.

Reason: To provide contact details of key site personnel.

46. Any spoil deposited on public roads during the cartage of materials from or to the site shall be removed on the same day. The cartage of spoil shall cease, as directed by Council, if the Council determines that excessive deposition of spoil onto the road is taking place.

Reason: To ensure erosion control measures have been implemented.

47. All measures specified in the approved Soil and Water Management Plan to minimise the effects of soil erosion and pollution are to be installed then maintained until disturbed areas are rehabilitated and landscaped. Council may issue infringement notices incurring a monetary penalty where measures are not provided or maintained

Reason: To ensure that erosion control measures are maintained.

48. All stormwater runoff from the proposed development is to be collected on-site and conveyed to a lawful point of adequate capacity in a manner that is consistent with the latest version of Australian Standard 3500.3.2, and does not impede or direct natural surface water runoff so as to cause nuisance to adjoining properties.

Reason: To ensure that stormwater run-off is appropriately collected and discharged.

49. Work on flood liable land being carried out in accordance with the NSW Government Floodplain Development Manual.

Reason: To ensure compliance with the NSW Floodplain Development Manual.

50. All excavations and backfilling associated with the works must be executed safely and in accordance with appropriate professional standards.

All excavation works must be properly guarded and protected to prevent them from being dangerous to life or property.

Reason: This is a prescribed condition of the Environmental Planning and Assessment Regulation 2000.

51. At least one (1) disabled car parking space shall be provided on-site for persons with a disability. This space shall be located at the front of the building and shall be easily accessible.

Reason: To ensure compliance with the Building Code of Australia and the Disability Discrimination Act 1992.

52. Access for people with disabilities is to be provided in accordance with the Building Code of Australia.

Reason: To ensure compliance with the requirements of the Building Code of Australia.

53. The development shall provide designated waste receptacles/rubbish bins for use by user groups.

Reason: To ensure that litter and wastes are appropriately disposed of.

Prior to the issue of an Occupation Certificate

54. The development is not to be used until the Principal Certifying Authority has issued an Occupation Certificate certifying that the development has complied fully with the development consent and has been constructed in accordance with the Construction Certificate.

Reason: To ensure that the development complies with approvals issued for the site.

55. Completion of landscaping shall occur prior to the issue of an occupation certificate in accordance with the approved landscaping plan prior to commencement of the use of the site and such landscaping is to be continuously maintained in accordance with the approved plan. Maintenance is the landowner's responsibility.

Reason: To ensure satisfactory completion and maintenance of landscaping.

56. Prior to the issue of an occupation certificate for the use of the boat ramp and floating pontoon, a management plan shall be prepared and approved by council outlining how the walkway and floating pontoon will be removed prior to or during a flood event.

Reason: To outline appropriate management requirements for the removal of these structures prior to or during a flood event.

Use of site

57. Use of the site for the proposed development shall not take place until all conditions of this approval have been satisfied.

Reason: To ensure compliance to all requirements.

58. The approved development must not adversely affect the amenity and environment of the neighbourhood in any way including:
- (a) The appearance of any buildings, works or materials used;
 - (b) The parking or moving of motor vehicles;

- (c) The transporting of materials or goods to or from the site;
- (d) The hours of operation;
- (e) Noise, air and water discharges from the site;
- (f) Electrical interference;
- (g) The storage and handling of garbage, fuels, chemicals, pesticides, gasses, waste products or other materials;
- (h) Emissions or discharges into the surrounding environment including, from waste water, sediment, dust, vibrations, odours or other harmful products.

Reason: To ensure that the works will not adversely affect the amenity or environmental qualities of the area.

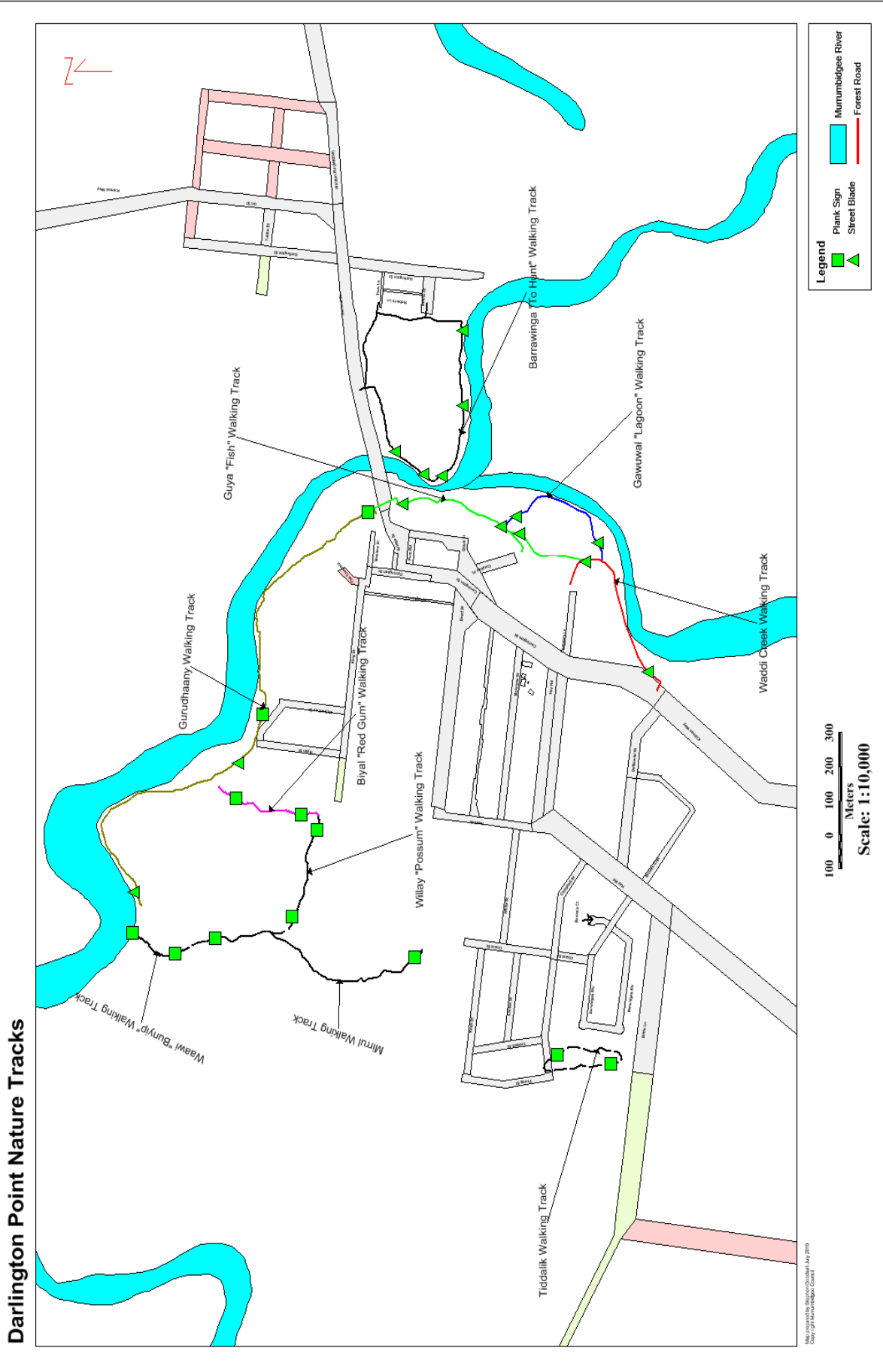
Advisory and Ancillary

59. Advice to Applicant
Your development may be affected by the Disabilities Discrimination Act. It is your responsibility to ensure that development complies with the Act.

Reason: To ensure compliance with the Disability Discrimination Act.

60. Underground Assets – Dial before you dig
Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets, please contact Dial before you dig at www.1100.com.au or telephone or 1100 before excavating or erecting structures.

Reason: To ensure that underground infrastructure is protected.



Example 1- Plank Sign



Example 2 Street Blade



Current Name	Proposed Name	Name Reason	Length km	Pavement Type	Location
Lagoon Track	Gawuwal "Lagoon" Walking Track	Aboriginal meaning for Lake or Lagoon	0.53	Natural surface	Darlington Point
Boat Ramp Walking Track	Barrawinga "To Hunt" Walking Track	Aboriginal meaning for To Hunt; to camp	1	Loam	Darlington Point
Tiddalik Walking Track	Tiddalik Walking Track	Location near wetlands	0	Loam	Darlington Point
Town Common Walking Track	Waawi "Bunyip" Walking Track	Local identity	0.24	Loam	Darlington Point
Gum View Track	Waddi Creek Walking Track	Aboriginal meaning	0.67	Natural surface	Darlington Point
Gum View Track	Guya "Fish" Walking Track	Aboriginal meaning for Fish	0.97	Natural surface	Darlington Point
Town Common Walking Track	Willay "Possum" Walking Track	Aboriginal meaning for Possum	0.41	Loam	Darlington Point
Town Common Walking Track	Binyal "Red Gum" Walking Track	Aboriginal meaning for River Red Gum	0.4	Loam	Darlington Point
Town Common Walking Track	Mirrul "White Clay" Walking Track	Aboriginal meaning for White Clay significant to area and clay banks	1.02	Loam	Darlington Point
Goanna Walking Track	Gurudhaany "Goanna" Walking Track	Goanna Walking Track	1.8	Loam	Darlington Point

Stronger Communities Fund

		Jerilderie Budget	Expend to date	Coleambally Budget	Expend to date	Darlington Pt Budget	Expend to date	Still to be Expended	
32	Jerilderie Community Gym	43,358.97	43,358.97						
31	Jerilderie Tennis Club	45,454.55	45,454.55						Complete
23	Jerilderie Tennis Club	44,708.69	44,708.69						Complete
24	Jerilderie CWA	18,003.61	18,003.61						Complete
									Works substantially completed. Some minor works to be undertaken
34	Jerilderie Cricket Club	21,500.00	17,613.06						
36	Jerilderie Football Club	39,674.00	39,674.00					3,886.94	Complete
									On hold as a larger project is under consideration
22	Jerilderie Pre School	44,098.40							
35	Jerilderie Swimming Club	5,859.73	5,859.73						Complete
37	Jerilderie Public School P & C	49,280.00	49,280.00						Complete
30	Jerilderie Arts & Talent Society	9,868.22	9,868.22						Complete
78	Jerilderie Tennis Club	27,272.73	27,272.73						Complete
78	Jerilderie Tennis Club	1,340.00	1,340.00						Complete
76	Jerilderie Public School P & C	7,946.36	7,946.36						Complete
75	Jerilderie Men's Shed	50,000.00	50,000.00						Complete
77	Jerilderie RSL Sub Branch	4,577.27	4,577.27						Complete
79	St Joseph's Parent's and Friends Inc	35,374.74	35,374.74						Complete
16	Sweatbox Community Gym			30,340.00	30,340.00				Complete
									Works substantially completed. Some minor works to be undertaken
3	Coleambally Pistol Club			46,538.00	41,463.60			5,074.40	
17	Coleambally Clay Target Club			45,260.00	45,260.00				Complete
4	Coleambally Pre School			7,233.44	7,233.44				Complete
5	Coleambally Pre School			11,412.73	11,412.73				Complete
14	Coleambally Lions Club			7,520.00	7,520.00				Complete
15	Coleambally Lions Club			4,632.65	4,632.65				Complete
1	Coleambally Chamber of Commerce			10,116.20	10,116.20				
19	Coleambally Chamber of Commerce			4,250.00	4,250.00				Complete
20	Coleambally Chamber of Commerce			21,122.73	21,122.73				Complete
10	Riverina Vintage Machinery Club			41,000.00	41,000.00				Complete
7	Coleambally Community Club			45,454.55	45,454.55				Complete
18	Coleambally Central School P & C			50,000.00	50,000.00				Complete
2	Coleambally Water Ski Club			0.00					
11	Coleambally Golf Club Inc			44,600.00	44,600.00				Complete
12	Coleambally Golf Club Inc			25,450.00	25,450.00				Complete
13	St Peters Primary School			28,172.73	28,172.73				Complete
9	Coleambally Mens Shed			44,463.19	44,463.19				Complete
8	Murrumbidgee Experimental Farm			45,454.55	45,454.55				Complete
69	Coleambally Pre School			13,594.55	13,594.55				Complete
69	Coleambally Pre School			12,272.73	12,272.73				Complete
72	Coleambally Lions Club			5,835.00	5,835.00				Complete
7	Coleambally Community Club			21,909.09	21,909.09				Complete
67	Coleambally Central School P & C			18,840.00	18,840.00				Complete
74	St Peters Primary School			5,000.00	5,000.00				Complete
68	Coleambally Darlington Point Country Education			3,000.00	3,000.00				Complete
66	Coleambally Motorcycle Club Inc			50,000.00	50,000.00				Complete
53	Coleambally Pony Club			6,642.86	6,642.86				Complete
71	Fusion Drop in Centre			4,545.45	4,545.45				Complete
73	St Peters Catholic Church			6,363.64	6,363.64				Complete
70	Coleambally Tennis Club			50,000.00	50,000.00				Complete

Stronger Communities Fund

21 Anglican Parish of Coly/Darlington Point	Install air conditioning to Darlington Point Hall
46 Darlington Point Mens Shed	Construct meeting room & improve stormwater
47 Darlington Point Lions Club	Addition of BBQ & bench
82 Darlington Point Mens Shed	Installation of solar panels
80 Apex Club of Darlington Point	Flag pole installation and fingerling purchase
81 Darlington Point Club Ltd	Bowling green & club grounds irrigation
81 Darlington Point Club Ltd	Workshop for maintenance staff
81 Darlington Point Club Ltd	Machinery storage shed
83 Darlington Point Public School P & C	Classroom board upgrade throughout the school

Community Infrastructure Fund

Jerilderie

41 Tidy Towns Committee	Solar Lighting Walkway Project
25 Jerilderie Netball Club	Netball Courts Upgrade
33 Central Coree Hall	Upgrade Hall and Play Equipment
29 Balmeringa Senior Citizens Units	Kerbing & sealing of driveway & carpark
42 Tidy Towns Committee	Installation of playground at Luke Park
40 Tidy Towns Committee	Installation of exercise stations around Lake
44 Tidy Towns Committee	Installation of additional seating in Luke Park
39 Tidy Towns Committee	Purchase of equipment/ride on mower
38 Tidy Towns Committee	Construction of footpath through Luke Park

25 Yamma Management Committee

Yamma Hall Toilet Block Redevelopment

Water Filtration Plant Replacement
Jerilderie Independent Living Inc

Water Filtration Plant Replacement
Independent Living Units

Jerilderie Civic Hall

Kitchen Upgrade

Jerilderie Town Water Supply

Purchase of water entitlement

Jerilderie Swimming Pool
Yamma Hall Playground
Jerilderie Racecourse

Swimming Pool Restoration
Playground Upgrade
Showground Amenities Upgrade

Jerilderie Pre School & Long Day Care

Long Day Care Centre

Coleambally

6 Coleambally Squash Club
Coleambally Sports Ground Upgrade

Resurface existing walls
Coleambally Netball Court Upgrade

Coleambally Sports Ground Upgrade

Coly Sports Precinct Upgrade

Brolga Place Streetscape/Masterplan Upgrade
Coleambally Water Treatment

Streetscape Upgrade
Treatment Works Upgrade

Bencubbin Avenue

Rehabilitation

Coleambally Sports Ground Upgrade
Coleambally Community Hall

Multipurpose indoor gym/sports centre
Community Hall Upgrade

Jerilderie Budget	Expend to date	Coleambally Budget	Expend to date	Darlington Pt Budget	Expend to date	Still to be Expended
448,317.27	400,331.93	711,024.09	705,949.69	255,480.88	255,480.88	53,059.74
13,167.00	13,167.00			17,423.59	17,423.59	Complete
204,535.30	204,535.30			45,454.55	45,454.55	Complete
45,363.42	45,363.42			20,000.00	20,000.00	Complete
41,100.15	41,100.15			8,547.55	8,547.55	Complete
76,516.71	76,516.71			12,659.00	12,659.00	Complete
53,420.72	53,420.72			45,454.55	45,454.55	Complete
				36,363.64	36,363.64	Complete
				25,650.00	25,650.00	Complete
				43,928.00	43,928.00	Complete
29,029.00	21,725.04					Works substantially completed. Some minor works to be undertaken
9,552.13	9,552.13					
20,067.53	20,067.53					
120,000.00						Estimate of costs exceeds available funding
						Awaiting results of required funding
						following Safe & Secure Water grant allocation
800,000.00						Further works to be undertaken
450,000.00	450,000.00					
182,309.00	113,720.60					90mgl water sourced. Finalisation of contracts to be undertaken during July.
						Tenders for construction to be called
443,750.00	-					To be determined
40,000.00						Under construction
117,785.30						Draft plans to be determined
300,000.00						
						Complete
						Complete
						Draft plans to be determined
						Awaiting further masterplan upgrades
						Designs currently being undertaken
						Draft plans to be determined
						500,000.00
						565,000.00

Stronger Communities Fund

Darlington Point

45 Heritage Darlington Point
Anglican Parish of Coleambally & Darlington P. Upgrade to Op Shop Community Hub

Darlington Point Townlife Committee

Darlington Point Townlife Committee

Apex Boat Ramp

Lions Park Facilities & Display

Lions Park Facilities Upgrade & Display

Town Water Treatment

Update Water Treatment Facilities

Waddi Community Centre
Darlington Point Caravan Park

Demolition/Cultural Garden Management Plan

Darlington Point Sports Precinct
Waddi Community Centre

Upgrade to Facilities Stage 1 & 2 Education Arts & Cultural Centre

Young Street Subdivision

Young Street Subdivision

Jerilderie Budget	Expend to date	<u>Coleambally Budget</u>	Expend to date	Darlington Pt Budget	Expend to date	Still to be Expended
				6,544.41	6,544.41	Complete
				400,000.00		400,000.00
				58,000.00		Awaiting draft design changes
				22,000.00		Awaiting draft design changes
				750,000.00	56,598.97	Awaiting outcome of departmental agreement
				582,250.00		Tenders for construction to be called
						Awaiting results of required funding following Safe & Secure Water grant allocation
				800,000.00		800,000.00
				80,000.00		Agreement signed. Awaiting contractor determination.
				350,000.00		350,000.00
				367,750.00		Tenders for construction to be called
				300,000.00		Agreement signed
				1,500,000.00		Awaiting outcome of economic analysis
3,646,596.26	1,629,280.52	4,851,375.96	336,375.96	5,216,544.41	63,143.38	0.00
						11,685,716.77

Announced to date
Expended to date

4,094,913.53	2,029,612.45	5,562,400.05	1,042,325.65	5,472,025.29	318,624.26	0.00	11,738,776.51
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Announced projects Unexpended

Stronger Communities Funding
Interest Received to 30/6/19

14,365,000.00
656,650.00

Less expenditure to date

3,390,562.36

Balance available/(overexpended)

11,631,087.64



Kidman Way Promotional Committee Meeting

Teleconference

19 June at 2pm

Present: Chair; Mirella Guidolin (Griffith City Council), John Randall (Carrathool Shire Council), Kellie Dissegna (Murrumbidgee Council), Fran Carter (Bourke Council), Demi Smith (Cobar Council)

MINUTES

1. Welcome

2. Apologies - Cr. Ruth McRae Murrumbidgee Council and Paige Campbell as she has resigned from Griffith City Council her last day was Friday 14th June.

3. Minutes of the previous meeting (phone conference 5 June 2019). Adopted.

4. Financials/2019 Budget (financial statement) Kellie Dissegna circulated to the group.

5. Trade Show Review

Melbourne 4x4 Outback Fishing Boating Expo (16th-18th August 2019) - Fran shared info on this date
Cost = \$2,400 (3mx3m space).

We would be amongst the accessories rather than destinations.

It was decided amongst the group that this show wasn't a market that is appropriate to all member shires.

Border Caravan & Camping Expo at Wodonga Racecourse (23-25 August 2019).

John did some research and shared with the committee (attached). John will attend as a visitor in August this year to see what it's all about and report back to the committee as a possibility that we may attend next year.

Melbourne Leisure Fest (3-6 October 2019) - John shared information about this. (attached)
John will continue to liaise with organisers and make booking for this year.

6. Website development

Fran has spoken to Jenna from Bubble Design regarding confirmation of contract for website - \$99/month. Was decided at last meeting that Fran take the lead on this.

Fran chasing the "Seal" stamp for invoice from Cobar/ John Martin?

All members happy to pay invoice - Kellie to arrange payment with Vicki.

7. A3 Tear off map and attractions quote - design and print

Mirella shared quote from Dobija's (attached).

Works out at approx. \$450 + GST per member council.

Meeting held 5 June it was decided that the layout be key attractions in line with our guide, no advertising.

Options for back of map - John going to email us all with previous information provided by member councils from a recent promotion which included the top 5 attractions or quirky facts about each member council/ destination.

Mirella will confirm quote with Dobija's and liaise with Jenna/ Bubble Design once we have decided what else we would like to go on the map, further discussion with committee required.

8. Outback Beds - Demi is the lead on this

Demi made contact with Liz from Outback Beds.

\$700 + GST = logo, blurb + Kidman Way lined and Coleambally will be added.

Demi to chase up whether we are able to provide a blurb as well and what that will be.

9. Kidman Way online brochure distribution report - Mirella attached

10. Outstanding Action Report - Mirella updated and attached

11. General Business

* Demi on leave 12 July - 22 August. Use museum email: cobarmus@bigpond.com

* Kellie on leave from July (Ruth to be included in emails)

12. Next meeting - TO BE CONFIRMED - same dial in details.

User Information (Give this information out to clients wanting to connect to the Teleconference)

Conference Dial in 1800 062 923

Conference ID 74336384

PIN 8164

Note* If prompt asks for 12 digit code combine Conference id & Pin eg 743363848164



Borambola Wines, Borambola



Barmah National Park, Barmah



Rich River Golf Club, Moama



Catania Fruit Salad Farm, Griffith



Nimbo Fork Lodge, Killimicat



Sugar Pine Walk, Laurel Hill



THE VALUE OF TOURISM TO THE RIVERINA MURRAY 2018

Every minute of every day, tourism
delivers \$3,205 of visitor spend into
the Riverina Murray.

That is almost \$4.6 million per day!!
A value that has grown by 30.6% in the
last year alone.



Based on Tourism Research Australia – International & National Visitor Surveys



Kimo Estate, Gundagai



Fairview Off Grid Camping, Temora



Murray River, The Murray

Travel to the Riverina Murray

Year ended December 2018

For the period of January 2018 to December 2018

Destination
Riverina Murray NSW



Tourism delivers **6.0%** of our jobs, supports **3,014** businesses and delivers **3.4%** of our region's Gross Value Add which has grown every year since 2010/11 at an average **2.4%** pa.

HOW DOES TOURISM COMPARE WITH OTHER MAJOR INDUSTRIES IN THE REGION?

The NSW Visitor Economy (3.0% direct share of state total GDP) is worth more than Agriculture, Forestry and Fishing combined (2.0% share of state total) and scores just below Mining (3.2% share of state total) in contribution to NSW.

Tourism in NSW is the 2nd largest NSW industry in terms of exports of merchandise and services (behind Mining and ahead of Manufacturing).

1. Mining (\$17.5 billion)
2. Tourism (\$13.0 billion)
3. Manufacturing (\$9.8 billion)

EMPLOYMENT DUE TO TOURISM

Tourism's DIRECT Contribution to Employment

FULL TIME 4,381

PART TIME 3,929

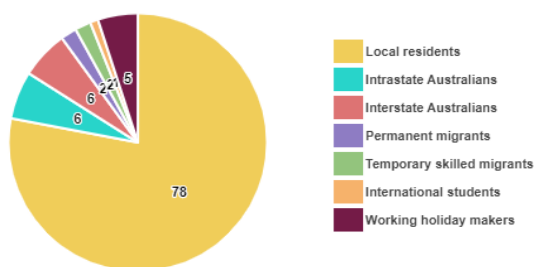


Supporting our local economy, Tourism supplies 6.0% of the region's employment including 8,292 persons who are directly employed and a further 3,032 who are indirectly employed.

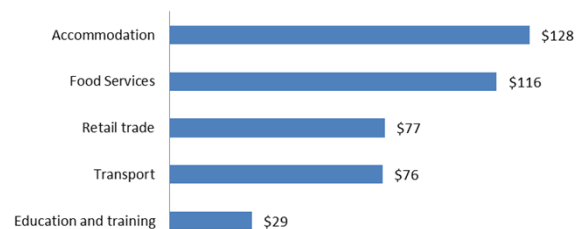
There are 3,014 tourism related businesses in the Riverina Murray around 9% of all Regional NSW Tourism businesses.

BUSINESSES RELYING ON TOURISM

Economically, these tourism businesses deliver almost \$421 million of the (3.4% of region's Gross Value Add) nearly 90% of which is delivered directly by our Accommodation, Food Service, Retail, Transport and Education establishments.



The Riverina Murray Industry share of Direct Tourism GVA (\$m)



According to the Deloitte 2015-2020 Tourism Labour Force survey, over 78% of tourism job vacancies are filled by local residents of the area where the business is located.

It is estimated that NSW has a 10% vacancy rate in tourism jobs.

TOURISM SUPPLY



Domestic direct inbound seats and flights have decreased in 2018 with a total of 10,289 flights (-4.4% yoy) delivering 459,344 seats (-5.1% yoy).

Note: Gross Value Added (GVA), Tourism Jobs and Businesses and Accommodation are only available by tourism region. GVA was estimated based on visitor expenditure share while Tourism Jobs and Businesses and Accommodation for the DN were estimated based on visitor number share of the tourism regions within each DN.

Sources: Tourism Research Australia, State Tourism Satellite Accounts, 2016-17, Official Airline Guide OAG YE Dec 2018; STR Tourist Accommodation 2018

Travel to the Riverina Murray

Year ended December 2018

For the period of January 2018 to December 2018

Destination
Riverina Murray NSW



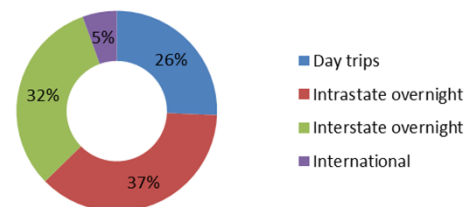
The Riverina Murray is the **top ranked DN in NSW** in terms of growth in Value of Tourism per day!

ECONOMIC VALUE OF TOURISM

In terms of what is consumed by Tourism, the Riverina Murray represents about 4% of the state's Total Tourism Consumption. This is mostly delivered by Intrastate tourism to the Region.

The Riverina Murray has a substantial Domestic tourism market.

The Riverina Murray \$1.5b Share of DN consumption

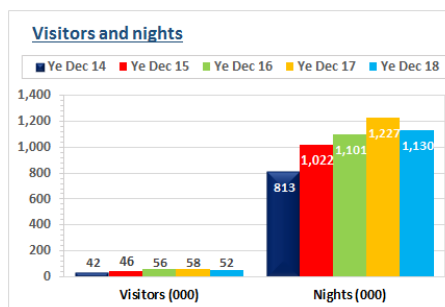


Visitation to the Riverina Murray has grown 54% since 2012 in terms of visitor expenditure value.

The RIVERINA MURRAY TOTAL

TRAVEL TYPE

International Overnight

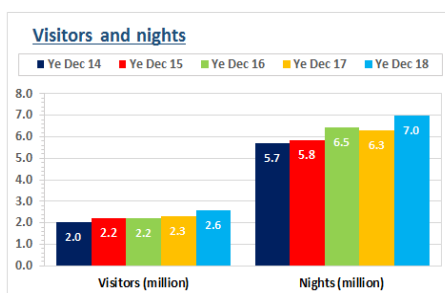


ORIGIN

Rank	Individual market
1	New Zealand
2	United Kingdom
3	Germany
4	United States of America
5	China

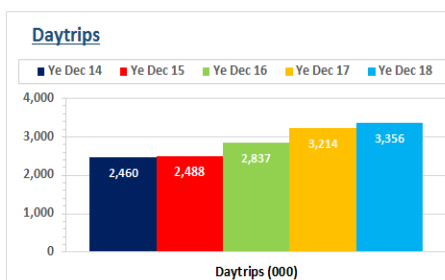
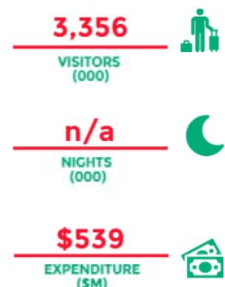
Origin Region	YE Dec 2017	YE Dec 2018
Europe	42.1%	43.0%
Asia	25.9%	23.6%
North America	*	*
Other Countries	*	24.2%

Domestic Overnight



Origin	Share of Visitors		Share of Nights	
	YE Dec 2017	YE Dec 2018	YE Dec 2017	YE Dec 2018
Regional NSW	32.8%	34.9%	30.0%	30.4%
Sydney	14.6%	15.1%	13.6%	17.9%
Total Intrastate	47.4%	50.0%	43.6%	48.2%
Victoria	37.5%	35.0%	39.1%	34.7%
Queensland	5.5%	6.1%	7.6%	6.0%
South Australia	4.0%	3.6%	4.0%	4.1%
Other Interstate	5.7%	5.4%	5.6%	6.9%
Total Interstate	52.6%	50.0%	56.4%	51.8%

Domestic Daytrip



Origin of domestic daytrip visitors to the Riverina Murray	
YE Dec 2018	Visitors (000)
Intrastate	2,382
Interstate	974
Total	3,356

Travel to the Riverina Murray

Year ended December 2018

For the period of January 2018 to December 2018

Destination
Riverina Murray NSW



RIVERINA

2,906

VISITORS
(000)



3,879

NIGHTS
(000)



\$816

EXPENDITURE
(\$M)



MURRAY

2,639

VISITORS
(000)



3,294

NIGHTS
(000)



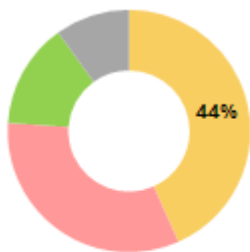
\$740

EXPENDITURE
(\$M)



Note: Purpose of visit shares provided only when statistically reliable

TRAVEL TYPE



■ Holiday
■ Visiting friends and relatives
■ Business
■ Other

23

VISITORS
(000)



721

NIGHTS
(000)



\$29

EXPENDITURE
(\$M)



International Overnight



27

VISITORS
(000)



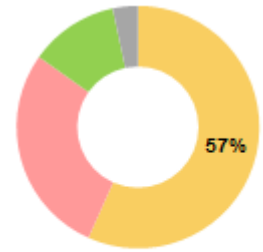
321

NIGHTS
(000)

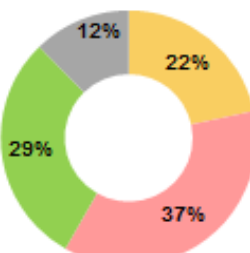


\$21

EXPENDITURE
(\$M)



■ Holiday
■ Visiting friends and relatives
■ Business
■ Other



■ Holiday
■ Visiting friends and relatives
■ Business
■ Other

1,249

VISITORS
(000)



3,158

NIGHTS
(000)



\$518

EXPENDITURE
(\$M)



Domestic Overnight



1,157

VISITORS
(000)



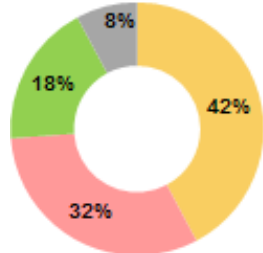
2,973

NIGHTS
(000)

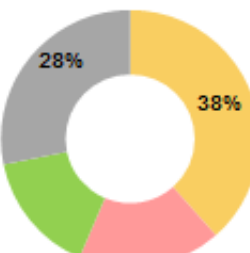


\$468

EXPENDITURE
(\$M)



■ Holiday
■ Visiting friends and relatives
■ Business
■ Other



■ Holiday
■ Visiting friends and relatives
■ Business
■ Other

1,633

VISITORS
(000)



n/a

NIGHTS
(000)



\$269

EXPENDITURE
(\$M)



Domestic Daytrip



1,455

VISITORS
(000)



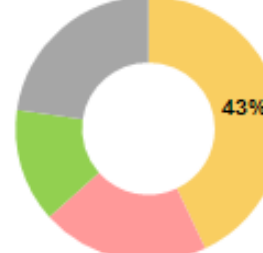
n/a

NIGHTS
(000)



\$251

EXPENDITURE
(\$M)



■ Holiday
■ Visiting friends and relatives
■ Business
■ Other

12/7/2019

**Project Brief:
Riverina and Murray Cooperative Marketing
Campaigns 2020 – Phase 2****Background**

Destination Riverina Murray is committed to stimulating increased visitation to the Riverina Murray region and considers marketing activity as a key component of achieving this outcome.

In February 2019 Destination NSW delivered a Riverina cooperative marketing campaign and in August 2019 Destination NSW will deliver a Murray cooperative marketing campaign. These campaigns are considered the first phase of the long-term project to increase awareness of the region in key markets such as Melbourne, Sydney, Canberra and regional NSW and Victoria. Through the NSW Government's Regional Tourism Fund, Destination NSW delivered the campaigns in partnership with Destination Riverina Murray, Murray Regional Tourism, Thrive Riverina and the councils within the Riverina Murray region.

The marketing activity achieved through the campaigns are the most significant consolidated effort to promote the region ever delivered, and it is critical that we continue with a second phase in 2020 to capitalise on the investment; to ensure we maintain momentum; and to ultimately increase visitation to the region.

The delivery of marketing campaigns through the [Destination NSW Cooperative Marketing Program](#) is an excellent opportunity to double the value of investment that can be generated by regional stakeholders while also ensuring that the marketing activities benefit from the expertise and media buying power of Destination NSW. It is worth noting that currently there is no certainty regarding the future of the Cooperative Marketing Program, however we intend to progress with this proposal on the assumption that a funding model will be confirmed that supports our intentions.

Investment Model for Phase 2

Destination Riverina Murray propose the following investment model to enable discussions to progress with Destination NSW regarding the development of second phase of the cooperative marketing campaigns for the Riverina and Murray regions in 2020.

Destination Riverina Murray will manage the project and be the key point of contact for Destination NSW with regards to both campaigns. The following breakdown identifies the investment model and key partners.

Organisation/LGA	The Murray Campaign	The Riverina Campaign	Total Funding
Murray Regional Tourism	\$50,000		\$50,000
Riverina LGAs: <ul style="list-style-type: none"> - Wagga Wagga City Council - Lockhart Shire Council - Leeton Shire Council - Griffith City Council - Cootamundra-Gundagai Regional Council - Narrandera Shire Council - Snowy Valleys Council - Temora Shire Council - Junee Shire Council - Murrumbidgee Council - Coolamon Shire Council - Bland Shire Council - Carrathool Shire Council 		\$130,000	\$130,000
\$10,000 per LGA in the 2019/20 FY			
Sub-Total	\$50,000	\$130,000	\$180,000
Destination NSW (matched contribution)	\$50,000	\$130,000	\$180,000
Total	\$100,000	\$260,000	\$360,000

In addition to the contributions outlined above, DRM will seek to encourage and facilitate additional investment towards the campaigns from industry groups. These might include but are not limited to the Riverina Winemakers Association and Golf on the Murray. DRM will also encourage LGAs from the Murray to contribute in addition to MRT, along with LGAs from the Riverina to consider an increased contribution where they would like to increase their level of exposure.

Contributions secured in addition to those listed above will be added to the overall funding pool and included within the matched contribution from Destination NSW, therefore increasing the total budget.

All investment towards the campaign is in-principle until Destination NSW present the strategic approach to stakeholders. Following consultation and the presentation of the strategic approach the collective group of stakeholders will be required to approve the approach and at that point an invoice for your contribution will be issued as per the table above.

2020 Campaign Outline

It is envisaged the campaigns would maintain the look and feel from phase 1 (The Riverina - Go with the Flow, and; The Murray - Best Shared) and feature the following characteristics to remain consistent with the research and insights gathered to inform the 2019 campaigns.

The Riverina – Go with the Flow

- Launched in February 2020 for travel in Autumn.
- Objective is to increase awareness.
- Target demographic of couples aged 45-65 years old.
- Highlighting food, drink and nature.

The Murray – Best Shared

- Launched in August 2020 for travel in Spring.
- Objective is to increase awareness with a younger audience.
- Target demographic of people aged under 55.
- Highlighting food, drink, nature and golf.

Proposed Timeline

The following timeline is indicative and will be confirmed as the project progresses:

Activity	Timing
EOI submitted to DNSW*	August 2019
Strategic approach developed and presented.	October 2019
The Riverina 2020 campaign launched.	February 2020
The Murray 202 campaign launched.	August 2020
Begin to progress to phase 3.	Mid-2020

*Pending the continuation of the Regional Cooperative Tourism Marketing Program.